

Otis Tufton Mason House:

CONTEXT AND ASSESSMENT



Otis Tufton Mason House: Context and Assessment

Fairfax County, Virginia

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One: Introduction

New South Associates completed this study to fulfill part of the Programmatic Agreement Regarding the Construction of Route 1 Improvements Project. In Fairfax County, Virginia, a 3.4-mile section of U.S. Route 1/Richmond Highway between Telegraph Road (Route 611) and Mount Vernon Memorial Highway (Route 235) will be widened and partially realigned by the Federal Highway Administration (FHWA), Eastern Federal Lands Highway Division, in cooperation with Fairfax County, U.S. Army Garrison Fort Belvoir, and the Virginia Department of Transportation. The realigned roadway section will traverse a parcel owned by the National Trust for Historic Preservation, on which the historic Otis Tufton Mason House is currently sited (Figure 1). The realignment will result in the relocation of the Otis Tufton Mason House to a new and permanent site.

Though now called the Otis Tufton Mason House, the central and most historic section of this building is believed to have been constructed circa 1854, prior to ownership by Otis T. Mason, pioneer of anthropology and District of Columbia resident. Following two major additions, Mason's weekend retreat reached its current L shape around 1880. Located near his parents' high-style mansion at

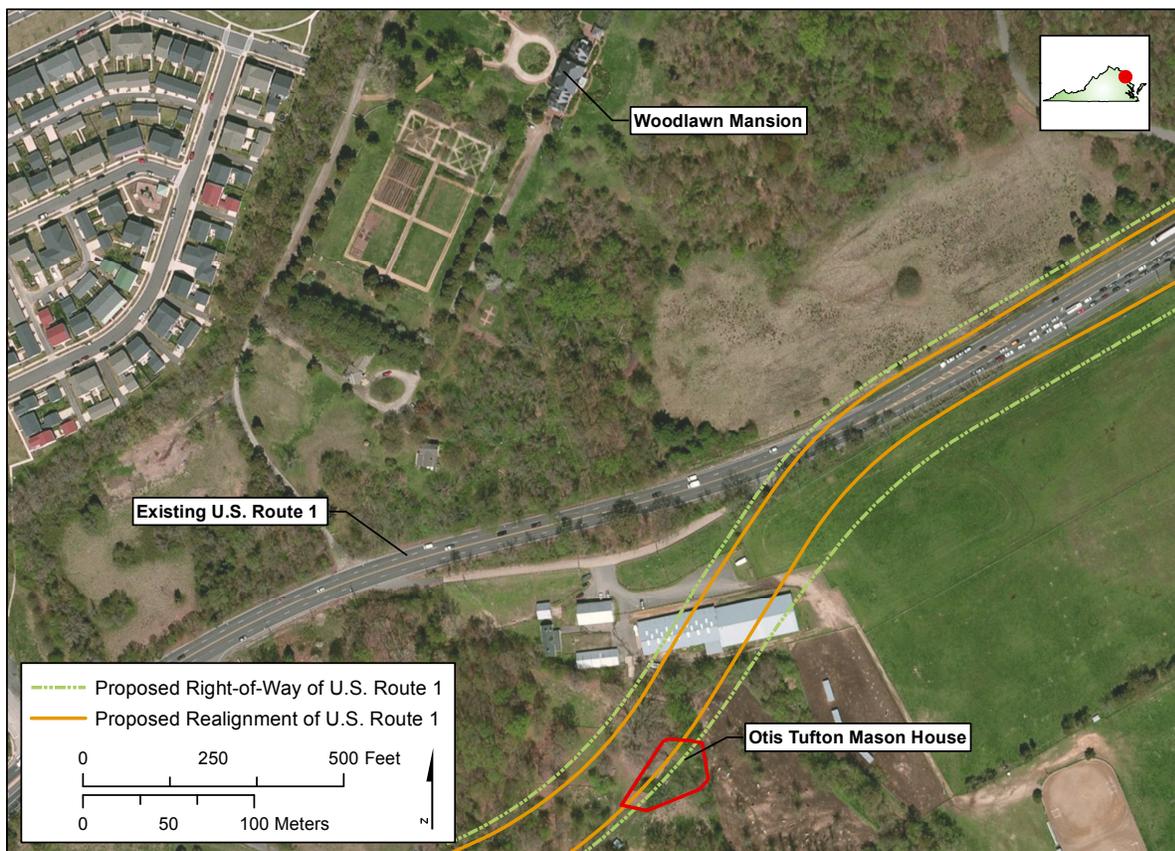


Figure 1. Project Location Map

NAD 83, UTM Zone 18N. Source: ESRI World Imagery

Woodlawn, Mason's modest house is comparatively simple in type and design. The house is nonetheless important to the historic fabric of the area, as it continues to convey the feeling of a nineteenth-century rural vernacular home.

While no relocation site has been selected yet, the house, located south of what is now U.S. Route 1, may be moved to the north side of realigned U.S. Route 1. When a permanent site is selected for the house, it will be placed in a reconstructed, historically accurate setting, where historic feeling and associations will remain intact. Additionally, site improvements such as access and a parking area will be developed at the selected site.

This study provides a record of significant architectural features of the Otis Tufton Mason House and documents the history of the building and its added and removed architectural features. It also identifies and records features for documentation for removal and reconstruction, including the cellar, foundation, and chimneys, as well as describes significant architectural features of the building using both written and photographic descriptions.

Information for this study was not only gathered while on site at the Otis Tufton Mason House but was also obtained during visits to area repositories. Research was conducted at the Virginia Room of the Fairfax County Public Library in Alexandria, Virginia, the offices of the National Trust for Historic Preservation in Washington, D.C., and at the archives in the Woodlawn Mansion. The notes, photographs, and drawings of Laura Walker, located at both the archives at Woodlawn Mansion and at the National Trust offices, were of particular importance in describing the major restoration project that took place at the Otis Tufton Mason House between 1974 and 1976. At times, Walker described mid-twentieth-century photography when referencing changes to the house. Though Walker mentions that such photographs were obtained from the National Trust, no such images were located during the current study.

This report is divided into sections and includes a timeline outlining the building's ownership and development, which follows this introduction. An account of the evolution of the building, including written and illustrative information concerning historic and non-historic alterations and additions, follows an historical context. A written and photographic description of the building's setting and landscape and current architectural elements is next, beginning with a discussion of character-defining features. Descriptions of the exterior and interior architectural elements are presented next. An assessment of existing conditions follows and conclusions are presented in the final chapter. , Reproduced documentation from previous major restoration and repair projects can be found in the appendices, located at the end of the document after the References Cited.

Two: Timeline of Ownership and Development

1799 General George Washington gives Eleanor (Nelly) Custis and Lawrence Lewis nearly 2,000 acres, which include a hilltop personally selected by Washington as the site of their future home, Woodlawn Mansion.

1820 The Lewises grant Woodlawn to their son, Lorenzo, but remain primary residents of Woodlawn Mansion.

1846 Lorenzo Lewis enters into an agreement with New Jersey and Pennsylvania Quakers to sell Woodlawn.

1847 Lorenzo Lewis dies before the sale of Woodlawn is finalized.

1848 Jacob Troth, Chalkley Gillingham, Lucas Gillingham, and Paul Hillman Troth, all Quakers from Camden County, New Jersey and Philadelphia, finalize the purchase of Woodlawn.

1850 John Mason purchases Woodlawn Mansion and surrounding acreage from the Quaker settlers.

1854 Approximate date of construction for the earliest building phase of the Otis Tufton Mason House.

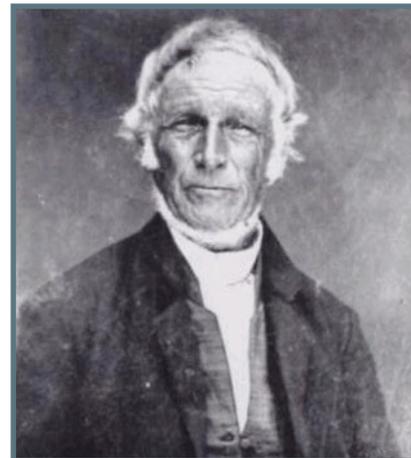
1865 Otis Mason purchases 63 acres of the Woodlawn tract, on which the circa 1854 building stands, from his parents, John and Rachel Mason.

1872 Otis T. and Sarah Mason sell a two-acre parcel of their existing tract to trustees assembled for the purposes of constructing Woodlawn Baptist Church.



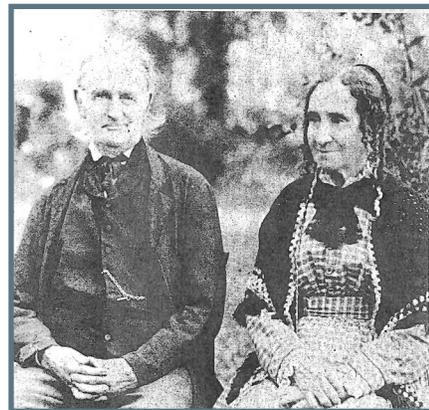
Eleanor Custis Lewis

Source: Library of Congress



Chalkley Gillingham

Source: Library of Congress



Captain John Mason and his Wife, Rachel Lincoln

Source: *The Alexandria Gazette*, February 28, 1970

1873 Approximate date of construction for the second building phase of the Otis Tufton Mason House.

1879 "Otis Mason" first demarcated on Griffith Morgan Hopkins, Jr.'s map of the Mt. Vernon District.

1880 Approximate date of construction for the third and final building phase of the Otis Tufton Mason House.

1902 Otis Mason sells his 61 acres to Paul Kester, who previously purchased the Woodlawn Mansion tract.

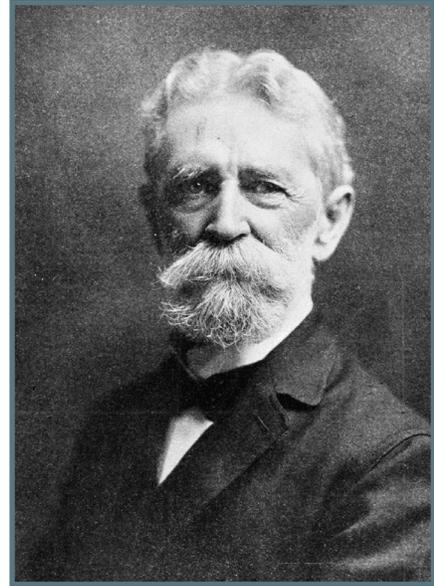
1905 Paul Kester sells the whole of his Woodlawn acreage, including the Otis Tufton Mason House, to Elizabeth Sharpe.

1925 Senator Oscar W. and Bertha W. Underwood purchase Sharpe's Woodlawn acreage following her death in 1924.

1948 Bertha Underwood dies, and Woodlawn Public Foundation, Inc. purchases the tract for the purposes of preserving the Woodlawn Mansion.

1951 National Trust for Historic Preservation begins leasing the entire Woodlawn acreage.

1957 National Trust for Historic Preservation purchases the Woodlawn tracts.



Otis Tufton Mason

Source: *The Popular Science Monthly*, January 1909



Mr. and Mrs. Underwood

Source: Library of Congress



National Trust

Source: Library of Congress

Three: Historical Context

First constructed circa 1854, the building now known as the Otis Tufton Mason House was built in three phases. It is believed that Otis Tufton Mason first enlarged the house circa 1873, while an additional wing was attached to the residence circa 1880. The following context draws on the previous work of historians such as Susan Hellman, Tony P. Wrenn, Martha Claire Catlin, and Brad Botwick, whose writings and notes on the house provide a framework from which to draw for the current study (see Catlin 2009; Hellman 2013; Patch et al. 2013; Wrenn 1972).

Unfortunately, deed, census, and tax data associated with the Otis Tufton Mason House do not give a clear description of the building's history of ownership or of its dates of construction. However, such primary resources do relay a history of land ownership and actions in the vicinity that help form a context to which the house is related.

FAIRFAX COUNTY HISTORY

The Otis Tufton Mason House sits south of U.S. Route 1 near the head of Dogue Creek, a short tidal embayment of the Potomac River. This location is in southeastern Fairfax County near the Potomac River. The Potomac forms the northern boundary of the Northern Neck of Virginia, with the Rappahannock River being the southern boundary.

The Northern Neck, containing roughly 5,000,000 acres, was originally held as a proprietary by a group of six Englishmen who received a grant to the territory in 1649 as a reward for their support of King Charles II during his exile. Eventually, in 1692, the Fairfax family obtained control of the entire proprietary, in part through marriages to the Culpepers. Thomas, Lord Fairfax, appointed Robert Carter his agent in 1702 and charged him with placing tenants on the Northern Neck for nominal quitrents (Bryant and Sperling 2007:14; Cooke et al. 2001:11).

The Virginia Assembly originally included the entire Northern Neck in a single large county called Northumberland. As population expanded, requiring smaller divisions with separate courthouses, Northumberland was divided up, the majority of its northern portion becoming Westmoreland County in 1653. Stafford County was carved from the northern part of Westmoreland in 1664. Over the next 60 years, population grew enough to require the division of additional counties. In 1730, the Assembly created Hamilton Parish in the northern part of Stafford County and, using the parish boundaries, established Prince William County in 1731. The following year, the Assembly separated the northern part of Hamilton Parish to form Truro Parish, which became Fairfax County in 1742 (Netherton et al. 1978; Figure 2).

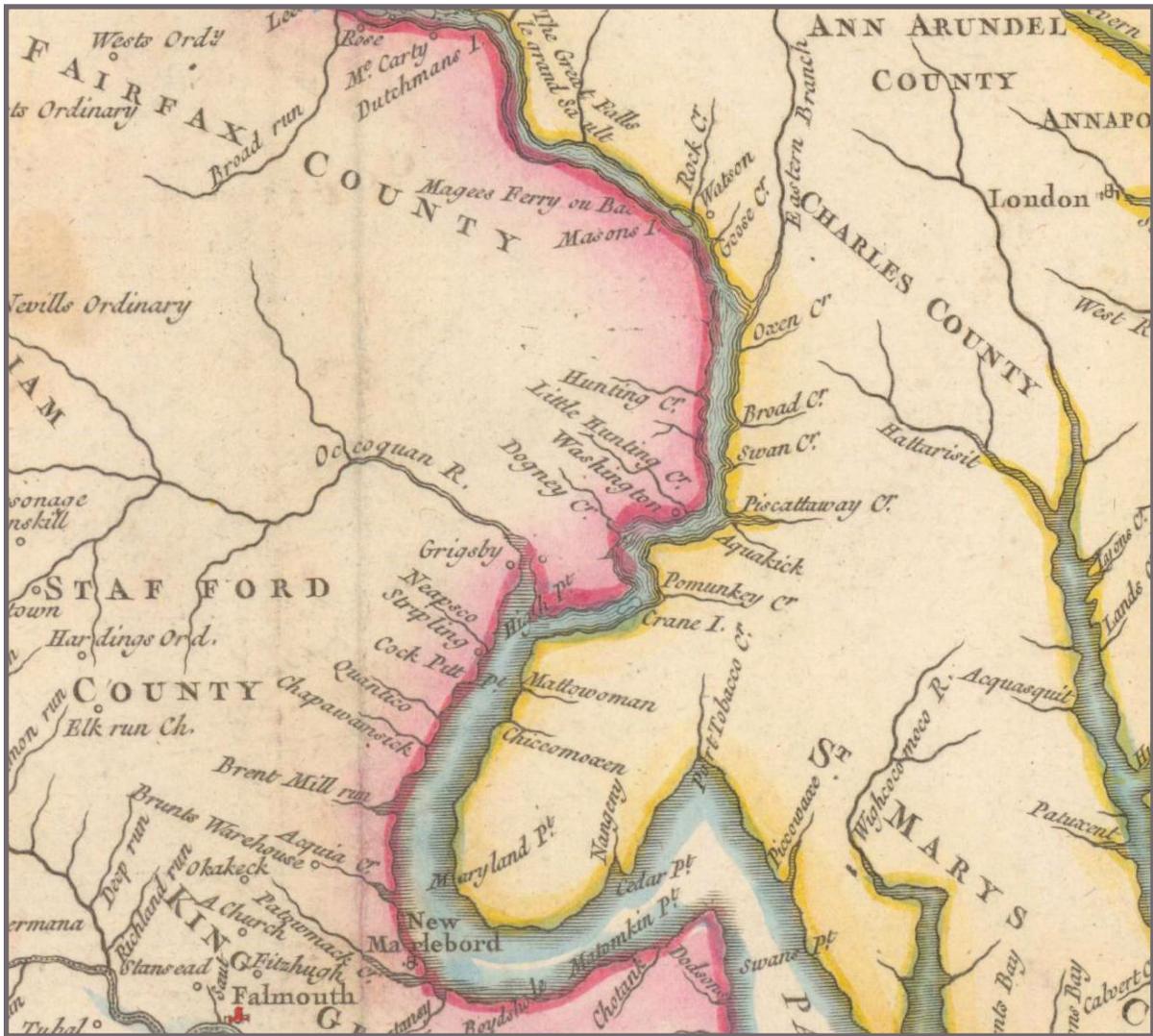


Figure 2. Detail of the 1755 *Dressée sur la Grande Carte Angloise de Mrs. Josué Fry et Pierre Jefferson* by Robert de Vaugondy, Washington's Mt. Vernon Estate Denoted between Little Hunting and Dogue Creeks

Source: University of Virginia Library

Settlement was slow in the Northern Neck and only began in earnest during the first part of the eighteenth century. Treaties with the local indigenous tribes restricted early settlement along the Potomac Valley. A 1648 treaty, however, opened the region beyond the James River Valley for colonization. Initial settlement (by Europeans) was sparse, and much of the initial landholding involved speculation rather than actual settlement. Nevertheless, people moved into the area and by the time Fairfax County was established, it contained three Anglican churches, tobacco warehouses, small farms, and large plantations. In the northern part of the county, the settlement on Great Hunting Creek, later Alexandria, contained the houses of factors for Scottish merchants. The county economy was based on tobacco produced by slaves and tenant farmers (Netherton et al. 1978:11).

Tobacco emerged as the dominant staple of the Chesapeake region over the course of the colonial period, and it had profound influences on aspects of the economy, settlement, and society. The crop was the chief export of the region and sometimes served as a medium of exchange. The search for fresh land instigated European expansion up the Potomac Valley and contributed to the sparse settlement pattern because the tobacco cultivation required the accumulation of large land holdings so that new fields could be continuously opened (Carr 1987:5-6). After the initial tenants, who were placed there to secure patents, wealthy tobacco planters came to dominate the county, bringing with them slaves and indentured servants (Cooke et al. 2001:11; Meinig 1986:149; Netherton et al. 1978:22).

Life during the first years of settlement was difficult and characterized by harsh and rudimentary conditions. Documentary and archaeological evidence indicate early dwellings were small and insubstantial earthfast structures. These rough shelters housed settlers of all economic and social ranks. Larger, more durable and elaborate structures did not appear until well into the eighteenth century (Carr 1987; Wells 1987). Material culture was also basic and crude, with the belongings of even the wealthiest Chesapeake residents being only as good as those owned by the lowest economic groups in England (Horn 1988). To sailors and new arrivals, the occupants of the region looked like Englishmen living in “dangerous and squalid exile” (Meinig 1986:150). As people adapted to conditions, though, greater economic and social stability emerged. These led to higher standards of living and increased social stratification. By the late seventeenth century, refined lifestyles (for some residents) based on land wealth, tobacco production, and slave labor had started to materialize (Carr 1987:21; Pogue 1993).

By 1780, dispersed large estates and small farms typified the landscape and the general character of the region was rural. Trade was conducted through hundreds of collection points consisting of private landings or storehouses that served local areas (Meinig 1986:154-156). Regional market towns or focal points were rare and local capitals were busy only during political seasons. County seats, for example, often consisted of a court building with a few related structures sitting alone at a crossroads. These locations only became busy when court was in session, times that were occasionally combined with markets or special social events (Netherton and Waldeck 1977:1).

Except for river travel, transportation was primitive through this era. Roads were underdeveloped, although Fairfax County residents did not require many because of the access to water transportation. As settlement spread inland, however, the road network developed, with roads extending from river landings and connecting churches and courthouses. As networks developed further, the roads often followed old Indian paths, animal trails, or other paths with less resistance, such as natural ridge crests. One of these, the Potomac Path, began as an Indian trail along the natural ridge between the Potomac and Rappahannock rivers. A branch of this road that ran closer to the Potomac to serve the plantations here later became the Potomac Path and was ultimately incorporated into U.S. Route 1 (Frisbee 1969:1; Netherton et al. 1978:20). In 1773, the road became an official postal route and its name changed to King’s Highway. The road gained prominence during the American Revolution as a major route for American and French forces heading south toward Yorktown (Cooke et al. 2001:12).

Another outcome of the Revolution was the change in land ownership. Residents of Virginia were considered to be British subjects, and therefore enemy aliens, had their personal property, including slaves, confiscated beginning in 1777. Land in the Northern Neck belonging to Fairfax family heirs was taken and given to American citizens in possession of it upon obtaining a certificate from the Governor, completing a Northern Neck survey, and paying a small fee (Bryant and Sperling 2007:15).

In the last quarter of the eighteenth century, the county's economy began to transition from tobacco to wheat, rye, corn, and related processing activities (i.e., milling). This switch was a consequence of the tobacco fields becoming exhausted and increased duties on tobacco, with a simultaneous increase in the demand for wheat in England (Bryant and Sperling 2007:15). Market demand caused the Chesapeake to emerge as the preeminent wheat producer in the country during the first part of the nineteenth century and contributed to the growth of the port of Alexandria at this time (Cooke et al. 2001:13). Outmoded farming methods combined with general depletion of the soils led to an economic depression in the county during the early 1800s, however, and damage to Alexandria during the War of 1812 exacerbated the situation. Many northern Virginia residents migrated westward, leaving their farms to go fallow. An outcome of the sagging economy was an influx of northern farmers into northeastern Virginia who took over abandoned farms and introduced new agricultural practices, such as resting the soil, crop rotation, and deep plowing (Bryant and Sperling 2007:17; Cooke et al. 2001:14).

WOODLAWN QUAKERS AND GROWTH

The land on which the Otis Tufton Mason House is sited was part of one such area, having been redeveloped up by a partnership of Quaker lumbermen from Philadelphia and neighboring New Jersey who later subdivided portions of it into farms of between about 50 and 200 acres and sold them to fellow Friends (name Quaker use for themselves) from the northeast. This practice gave rise to a community of Quakers and the establishment of the Woodlawn Friends Meetinghouse around 1853 (Frisbee 1969:1; Muir 1943). The town of Accotink, situated on King's Highway at the ford of Accotink Creek (southwest of Woodlawn Baptist Church Cemetery), became the business center for this community. The town served as a post village and had an official post office by 1853. The arrival of the Friends to the area led to improvements being made to the old gristmill as well as the addition of a sawmill, stores, a blacksmith shop, and a carriage maker (Muir 1943:84-85).

After struggling through economic hardships early in the century, the county experienced an upswing in the late antebellum period along with rising population rates. Commercial fertilizers, growing urban markets, transportation upgrades, and agricultural diversification contributed to the improved circumstances (Cooke et al. 2001:15; Lowery 1973; Netherton et al. 1978; Rubin 1984:121). The region's society at this time was highly stratified on the basis of wealth, ethnicity, gender, and legal status (King 1994:238).

The Quaker settlement was an exception, however. In addition to acquiring timber, the Troth-Gillingham Company had an interest in demonstrating to the local aristocracy the workability of farming the land with free labor. Land sales were thus made not only to northeastern Quakers, but also to local families, including former slaves and other abolitionists, such as a Baptist from New England named John Mason, who acquired Woodlawn Mansion and 546.3 acres of land from Paul Hillman and Hannah Maria Troth in 1850 (Frisbee 1969:4; Tuminaro 1998:21).

On March 11, 1856, enterprising interested parties, including several Quakers, founded the Alexandria, Mt. Vernon, and Accotink Turnpike Company and began construction on the road the following year (Figure 3). The current alignment of modern U.S. Route 1 follows roughly the same path as this nineteenth-century road. The founding of the turnpike not only provided a better link between Woodlawn and Accotink Road near the Quaker Meetinghouse and other operations throughout the vicinity, but it also brought together slave-holding Virginians such as Mount Vernon heir, John Augustine Washington, and free-labor advocates like Chalkley Gillingham and Paul Hillman Troth for what was a major transportation project for the area (Catlin 2011:7; State of Virginia 1856:122).

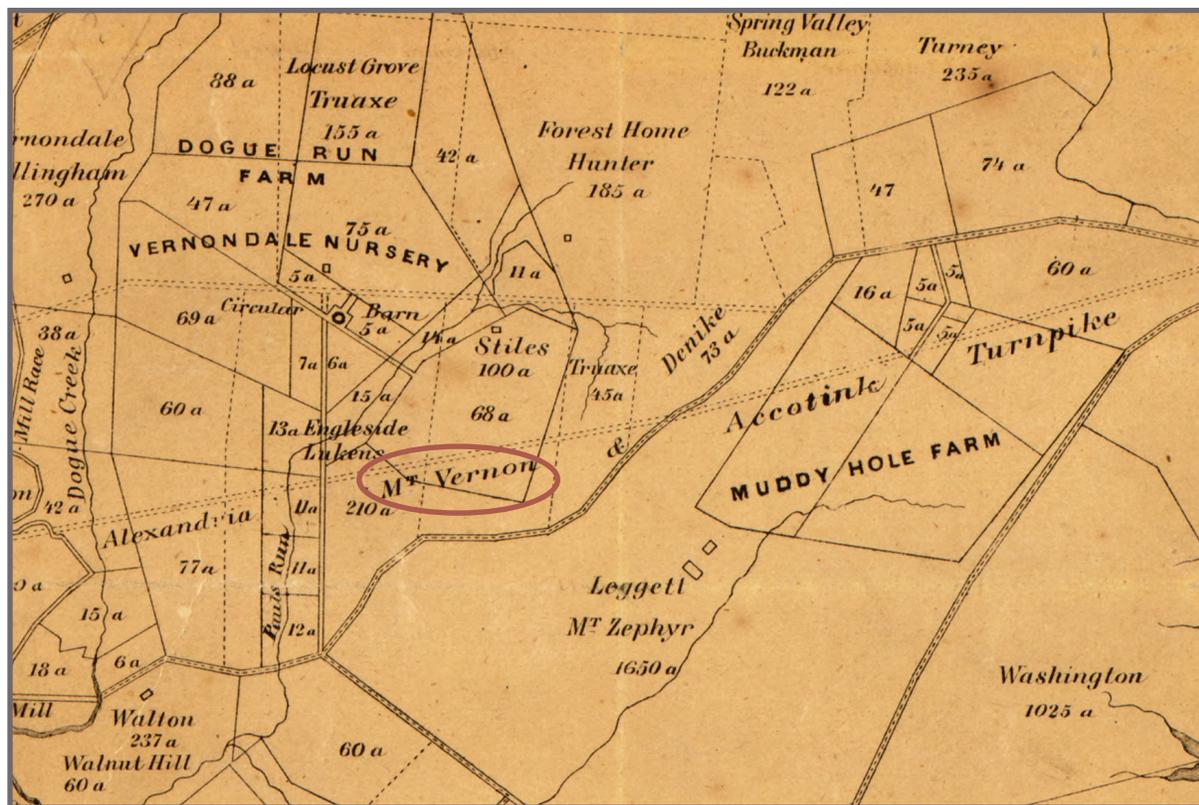


Figure 3. Detail Showing Location of Mount Vernon of the 1859 Map of George Washington's Land at Mount Vernon, Fairfax Coy, Virginia. As it was & As it is. Laid Down from Old Maps made by G. Washington and from Actual Surveys by W. Gillingham

Source: Library of Congress

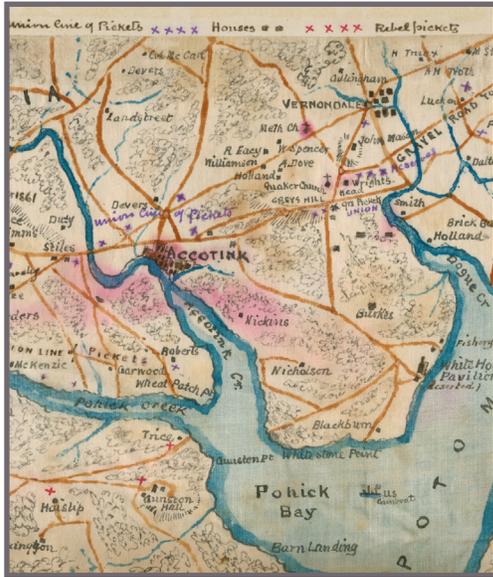


Figure 4. Detail of the *Map of the Lower Potomac Showing Picket Lines, January 1862* by Robert Knox Sneden

Source: Library of Congress

Such solidarity concerning contemporary issues of the day would not last long. Because the population of the area was primarily composed of northerners, many of who were Quakers, the Accotink district was overwhelmingly opposed to the Ordinance of Secession of 1861. When war began, many Union sympathizers evacuated. Those who remained faced various hardships. Paul Hillman Troth, one of the original members of the northern Quakers to arrive and buy land, was taken prisoner and sent to Richmond (Frisbee 1969:5). Although the only major fighting in Fairfax County were the two Battles of Manassas, the overall region was the scene of considerable disruption from both sides during the war. After First Manassas, Confederate forces occupied various parts of the county, including the area around Accotink where forward troops were placed in defense of the main army in Manassas (Figure 4).

In late 1861 and early 1862, Union troops were camped in the vicinity and used the Quaker Meetinghouse as a headquarters. Carved graffiti by Union soldiers remains intact to date on the Meetinghouse façade. Chalkley Gillingham, another of the first Quaker settlers, “entertained” three Union officers and two privates for dinner at his farm near Mount Vernon on New Year’s Day, 1862. He reported 15,000 Union infantry and cavalry camped within four miles of the farm and complained about the damage and mess they created at the Friends’ meetinghouse, which they converted into their headquarters. Because of the proximity of the forces, there were frequent clashes in the county, and much of the military activity during the first years of the war involved troop movements, skirmishes, raids, and ambushes. In 1863 and 1864, operations turned mostly to guerrilla warfare as Confederate forces engaged in hit and run attacks on Union supply and communication lines. Mosby’s Virginia Rangers were the most well-known and successful of these groups (Mauro 2006:62-63).

The war ended Virginia’s economic recovery and overturned established social hierarchies. Fairfax County residents turned back to agriculture, producing dairy products, livestock, poultry, and flour as well as fruit, vegetables, and flowers, which were marketable in Washington D.C. Despite the potential market, the county’s economy remained depressed through the 1870s. The Quaker community centered on Accotink and the meetinghouse just west of the study site prospered, however, and the meetinghouse was expanded during the 1860s to handle increased membership (Lautzenheiser and Hall 2007:17).

Additional local developments included the establishment of the Woodlawn Baptist Church Congregation and construction of the church building during the late 1860s and early 1870s. In 1850, New Hampshire-born John Mason purchased the remaining acreage of the Woodlawn plantation and

moved into the mansion with his family. His wife, Rachel, established a Baptist Sabbath School at the plantation in 1859. A formal congregation based at the Woodlawn plantation was established in 1868. In 1869, the congregation was received into the body of the Potomac Baptist Association of the Southern Baptist Convention (Woodlawn Baptist Church 1968).

Notably, the Masons also established one of the first free, public libraries in the state of Virginia at the Woodlawn Mansion. When Woodlawn Baptist Church was constructed in 1872, the library and other services previously held at Woodlawn Mansion, were relocated to the church (Tuminaro 1998:22). Institutions oriented toward the many African American farmers in the vicinity also emerged. These included an African American school, the Woodlawn Methodist Church and cemetery, and the Mount Vernon Enterprise Lodge of the Odd Fellows (Lautzenheiser and Hall 2007:17).

A significant political development was the establishment of the Fairfax County Board of Supervisors in 1870. The Board took over county property, which had been handled by the courts, as well as worked to pay off the county's debt, promoted agriculture, implemented plans to improve transportation, and established a county school system (Netherton et al. 1978; Cooke et al. 2001:16).

Transportation was an important theme during the last part of the nineteenth century. Railroads had been established in the county during the 1850s, improving travel and haulage within the county's interior as well as better economic conditions. By the 1870s, three rail companies operated lines within the county and were significant influences on economic development (Cooke et al. 2001:17). Later in the century, trolley lines enhanced commuter travel, although these did not greatly affect the areas outside the major cities. The project vicinity, like most of the county, remained rural until the twentieth century, with only agricultural and cart roads and paths serving as transportation routes supplementing the Turnpike. In some instances, localities promoted themselves as healthful retreats from the nearby cities (Bryant and Sperling 2007:21, 24).

WOODLAWN VICINITY IN THE TWENTIETH CENTURY

During the first part of the twentieth century, the county became proactive with respect to growth and development in an effort to attract Washington, D.C. residents. Taking advantage of access to electric rail lines, bus lines, and improved roads, land developers started building housing for middle-class residents. Despite these efforts, development did not extend very far into the Washington hinterland until after World War II (Bryant and Sperling 2007:24). The county's fortunes remained tied to agriculture, as it became a significant dairy producer. The dairy economy contributed to enhanced transportation as improvements were made to better serve Washington, D.C. markets (Cooke et al. 2001:17). The railroads remained viable transportation modes though the middle part of the century, but after World War II, they mostly ceased providing passenger service (Bryant and Sperling 2007:24).

U.S. Route 1, however, which travels north of the Otis Tufton Mason House, became more prominent during this period. As noted, this road began as an Indian path and later developed into a major post road and turnpike. Eventually, by the early twentieth century, it became part of the major north-south road along the east coast of the United States until Interstate 95 replaced it (Frisbee 1969:1).

An important event in the project vicinity during the early part of the twentieth century was the establishment of Fort Belvoir. This military installation occupied the lands associated with Belvoir Manor, the eighteenth-century tobacco plantation of William Fairfax, which lay between Accotink and Dogue creeks. Fairfax was a cousin of Thomas, Sixth Lord Fairfax, who obtained the Northern Neck proprietary in the 1730s. The Belvoir manor house was destroyed in the 1780s and was never rebuilt. By the 1840s, the estate was essentially abandoned and came under the ownership of a German-born Philip Otterback, who developed some of the property for agriculture and let the remainder revert to forest. By the turn of the twentieth-century, the former Belvoir estate lands were generally undeveloped and rural. The Federal Government purchased 1,500 acres of the property for use as a children's reformatory in 1910, but local opposition caused the abandonment of this plan. The land was subsequently transferred to the War Department for use as an Engineer School, the original school being squeezed out of its original location in Washington, D.C. and named Camp Belvoir. When the

U.S. entered World War I in 1917, the installation was renamed Camp Andrew A. Humphreys and expanded into a training cantonment for engineer soldiers. By 1918, the government obtained the remainder of the Belvoir estate. Following the First World War, the installation remained open as the permanent Army Engineer School. It was renamed Fort Humphreys in 1922 and then Fort Belvoir in 1935 (Price and Joseph 2007:9-11; Figure 5).

Following the First World War, the county's economic situation worsened, as prices on farm produce declined and prevented farmers from purchasing supplies and equipment. Moreover, the expansion of the Federal Government caused the county's cities to grow. County government turned its attention toward growth in urban centers and neglected the concerns of the farming community (Cooke et al. 2001:17-18).

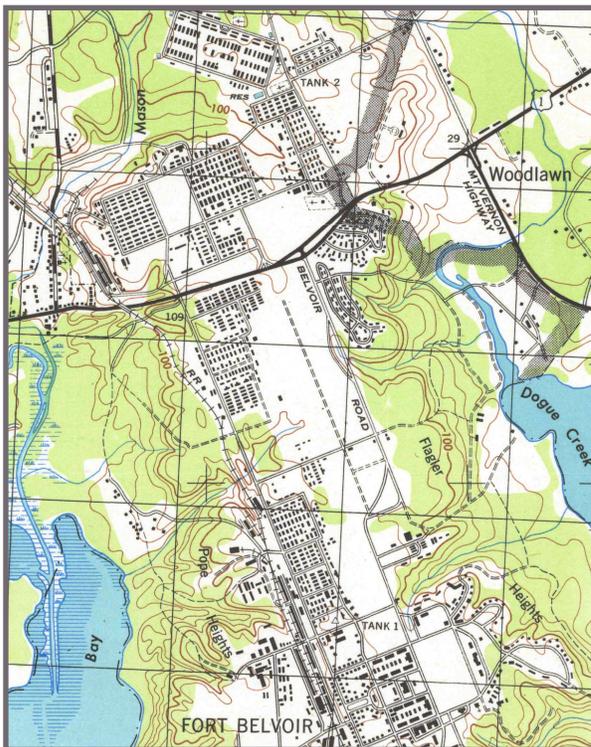


Figure 5. Detail of the 1948 USGS Belvoir Virginia Topographic Map

Source: US Topo and Historical Topographic Map Collection

Through the period leading to World War II, Fort Belvoir continued to develop. The Corps of Engineers Board coordinated efforts to develop and test new forms of equipment and materials. In 1940, the Engineer Board obtained the Fort Belvoir Engineer Proving Ground, located about 1.5 miles northwest of the main installation for testing landmines. This post was subsequently expanded for a variety of other programs (Price and Joseph 2007:11).

After World War II, the county underwent substantial growth, doubling in population between 1940 and 1950. Nevertheless, nearly half the land in the county remained farmland through 1950, with development and change toward suburban land use intensifying afterwards. The county population nearly tripled in the decade leading up to 1960 (Bryant and Sperling 2007:29; Figure 6). Urban and suburban development expanded quickly, requiring new schools, libraries, paved streets, utilities, and other amenities. The growth of the District of Columbia and the county's emergence as one of its principal suburbs led to the extension of public transportation systems into the county. Ultimately, Fairfax County has grown into one of the most populous and affluent counties in Virginia (Cooke et al. 2001:18).

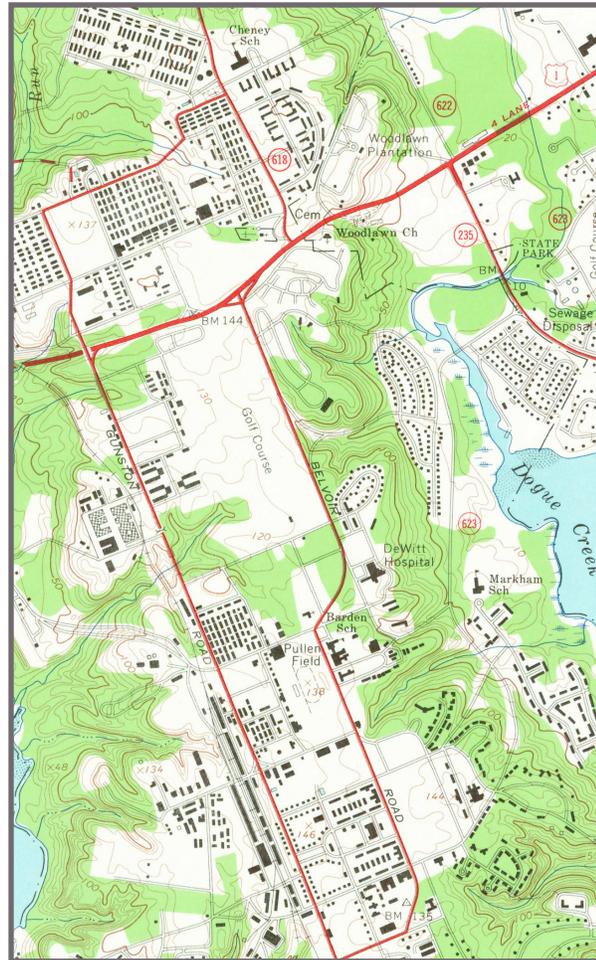


Figure 6. Detail of the 1965 USGS Belvoir Virginia Topographic Map

Source: US Topo and Historical Topographic Map Collection

EARLY LAND OWNERSHIP

The Otis Tufton Mason House currently sits atop land whose ownership stemmed from grants made during the seventeenth century, and that later became part of George Washington's Mount Vernon estate. When King Charles I was deposed in 1648, seven loyal supporters crowned his son King Charles II. In thanks, Charles II granted these seven the Northern Neck proprietary. Thomas, Second Lord Culpeper and one of the grantees, became governor of Virginia in 1677 and by 1681 had bought the Northern Neck interests of the other six grantees.

After his death in 1689, most of his interest in the territory went to his daughter, Katherine Culpeper, who married Thomas, the fifth Lord of Fairfax. Thomas's son, also Thomas, the sixth Lord Fairfax, took over the entire proprietary in 1719 and appointed his cousin William Fairfax as collector of customs for the South Potomac River. William established Belvoir plantation, which ultimately became incorporated into Fort Belvoir (Cooke et al. 2001:11).

Previously, in 1674, Lord Culpeper granted 5,000 acres to John Washington and Nicholas Spencer as payment for settling immigrants under the headright system. Spencer, an English merchant and 1650s emigrant to Virginia, was a cousin of the Culpepers and served as their agent in the colony. Washington, George's great-grandfather, settled in Virginia in the 1650s, established himself as a planter in the Northern Neck, and eventually also became a member of the House of Burgesses.

Their shared grant faced the Potomac River on the south and covered land bounded by Little Hunting and Epsewasson (later Dogue) creeks, with a line drawn between the two creeks as its north boundary. John Washington died in 1677, leaving his share of the grant to his son Lawrence. In 1690, the Washingtons and Spencers divided the grant, each family receiving a share with one half Potomac Riverfront and one half of the backlot. The Washingtons took the west half with Dogue Creek as its west boundary. Lawrence died in 1698, leaving the land, known as the Little Hunting Creek property, to his daughter Mildred, which she then leased to her brother Augustine (George Washington's father). In 1726, Augustine bought the property outright from his sister for \$900 (Muir 1943:16-17).

Augustine Washington was a planter, land speculator, and iron producer with interests in various locations in the Northern Neck. He appears to have been the first to establish a permanent homestead on the Little Hunting Creek property, known then as "Epsewasson," in 1735. The house, which burned in 1739, later became the foundation of George Washington's Mount Vernon mansion. Among other improvements, Augustine built a gristmill on Dogue Creek. With the destruction of the house, Augustine moved the family to Ferry Farm on the Rappahannock River, which was close to his iron interests near Fredericksburg. When he died in 1743, the Little Hunting Creek land went to his son Lawrence, half brother of George (Muir 1943:18; Ferling 1988:2-4).

With his wife, Anne Fairfax of Belvoir Plantation, Lawrence took up residence on the Little Hunting Creek estate in 1743. He soon renamed the estate Mount Vernon in honor of Admiral Edward Vernon, with whom he had served in Cartagena de Indias (Colombia) during the War of Jenkins Ear. Lawrence put up a new house, which became the central portion of the larger and more sprawling mansion that his brother George built. Lawrence died in 1752, leaving the estate to his infant daughter Sarah, with the provision that his wife should have a life interest in the estate. In the event that Sarah died childless, the estate would pass to George Washington, who had become a protégé of his older brother. Sarah died less than two years after her father, leaving the estate in the hands of Anne Washington for her lifetime. Within the next few years, Anne married George Lee. George Washington, 20 years old when his brother died, had been leasing the property from Anne since the late 1750s, and 1761, after her

remarriage, he bought out her interest, promising her husband the annual sum or quantity of 15,000 pounds of tobacco in 15 hogsheads or cash in the amount of 12 shillings and sixpence “for every hundred weight of tobacco.” The agreement left George Washington clear title to Mount Vernon (Wilstach 1916).

Washington spent considerable time improving the estate and accumulating land. His most active period in this regard was between 1757 and 1774. By the time of his death, the Mount Vernon estate totaled over 6,000 acres, which he had divided into five farms: Mansion House Farm, Union Farm, Muddy Hole Farm, Dogue Run Farm, and River Farm. A map composed in 1801 using drawings completed by General Washington in 1793 described that portion of his property labeled “B” as follows: “Great part within these lines is in wood, but there is a sufficiency of grounds cleared and under cultivation for a middle sized farm, with a house thereon; and a most beautiful site for a Gentleman’s Seat” (Figure 7). That area and more acreage became Woodlawn Plantation, which Washington gave his foster daughter (in actuality his step-granddaughter from Martha’s first marriage) Eleanor (Nelly) Custis upon her marriage to Lawrence Lewis, George’s nephew (son of his sister Betty) in 1799 (Muir 1943).

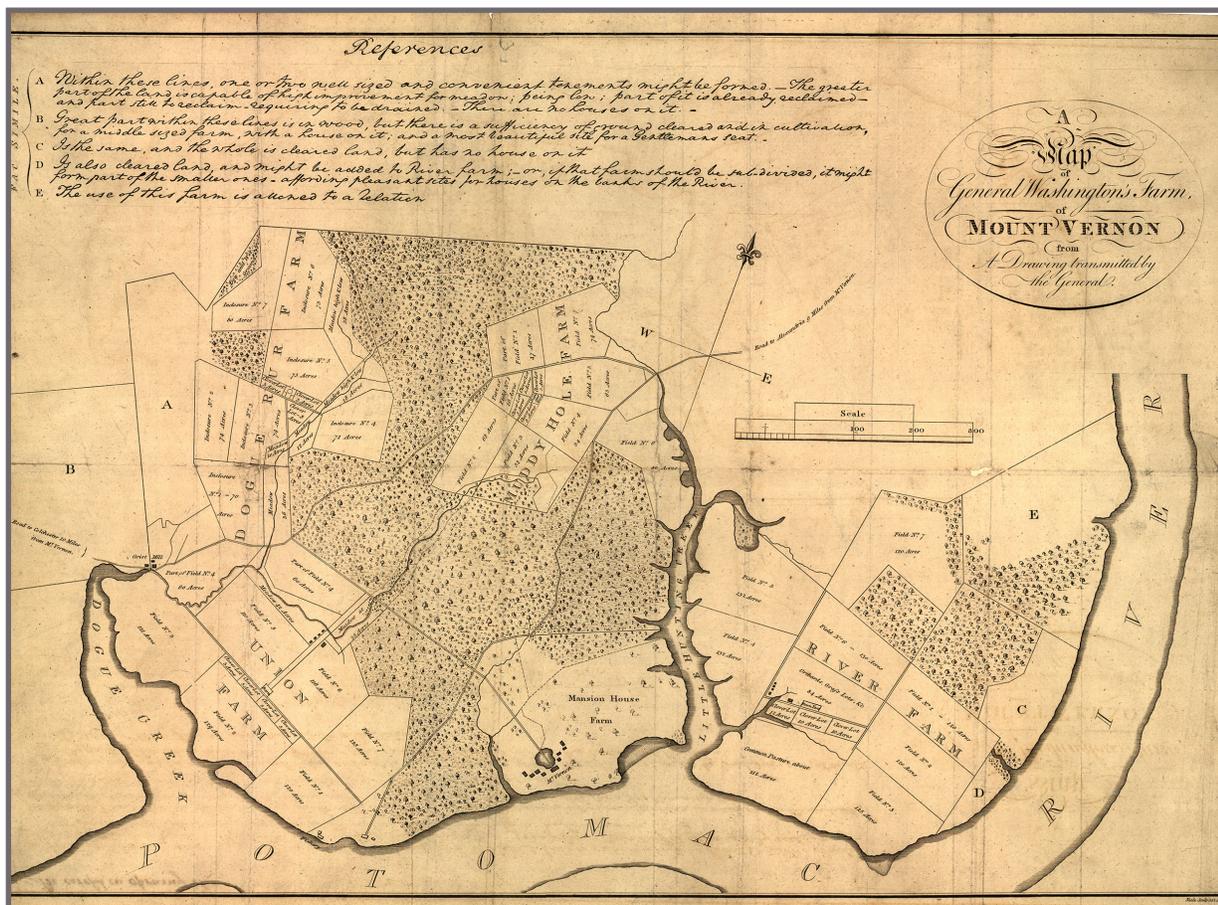


Figure 7. 1801 Map of General Washington’s Farm of Mount Vernon from a Drawing Transmitted by the General

Source: Library of Congress

Washington's will, dated July 9, 1799 and probated January 20, 1800, described the property as:

...the residue of my Mount Vernon Estate, not already devised to my Nephew Bushrod Washington-comprehended within the following description, viz, all the land North of the Road leading from the ford of Dogue Run to the Gum Spring as described in the devise of the other part of the tract to Bushrod Washington, until it comes to the Stone & three red or Spanish Oaks on the knowl [sic]; thence with the rectangular line to the back line (between Mr. Mason & me); thence with that line westerly along the new double ditch to Dogue run, the tumbling Dam of my Mill; thence with the said run to the ford aforementioned; to which I add all the Land I possess West of the said Dogue Run, and Dogue Creek bounded Easterly and Southerly thereby; together with the Mill, Distillery, and all other houses and improvements on the premises, making together about two thousands acres be it more or less (Washington 1799).

The acreage included portions of Muddy Hole Farm, Union Farm, and all of Dogue Run Farm (Muir 1943:26).

The Lewis' continued to live at Mount Vernon, Nelly's childhood home, until Woodlawn Mansion was built between 1800 and 1805 on Gray's Hill, a prominent ridgeline that commanded the surrounding area. Reportedly designed by William Thornton, first architect of the U.S. Capitol, the house included a central portion with two flanking wings and connecting hyphens. At present, the mansion remains largely unchanged, except for the hyphens and wings being raised between 1902 and 1920 (Frisbee 1969; Fairfax County Division of Planning 1971; National Park Service 2005).

A total of 1,959 acres of Woodlawn, or most of tract originally deeded to the Lewis" x George Washington, remained in the Lewis family until purchased in 1846. Lawrence and Nelly Lewis deeded the estate to their son, Lorenzo, on May 20, 1820 for \$10. The transaction made Charles Calvert Stewart the trustee of the property until Lorenzo turned 23, at which time Stewart or his heirs would convey the premises to Lorenzo free from all encumbrances (Fairfax County Deed Book S-2:169). The objective of this transaction was to establish a trust to protect the property or its value until Lorenzo could take possession upon turning 23. The relationship between the Lewis family and Stewart was not made explicit in the transaction, and it was not clear what his responsibilities, other than custodial, he had under the arrangement. He did not take possession of the property, however, as the Lewises remained in residence until Lawrence died in 1839. By that time, Lorenzo (b. 1803) was around 36 and Stuart no longer had any involvement with the property, insofar as is known. Lawrence's will, dated December 28, 1839, did not mention the earlier transaction (Fairfax County Will Book T-1:127).

Following Lawrence Lewis' death, Nelly moved out of the mansion and spent the rest of her life (she died in 1852) with her son Lorenzo and his wife, Esther Maria Coxe Lewis, at their plantation Audley in Clarke County, Virginia, where they moved soon after their marriage. Woodlawn was closed up and the grounds were left uncultivated and unmaintained for seven years. In 1846, Lorenzo decided to sell the property but found no takers at a public auction (Muir 1943:33; Frisbee 1969:3).

Soon after, however, a group of Quaker businessmen from Philadelphia and neighboring Camden and Burlington counties, New Jersey, agreed to purchase the estate. The four partners in the transaction, Chalkley (sometimes incorrectly spelled “Chalkey”) Gillingham and Jacob Troth, of New Jersey, and Lucas Gillingham and Paul Hillman Troth (Jacob’s son), both residents of Fairfax County by 1848 (Fairfax County Deed Book N-3:102), were lumber merchants whose principal business was supplying Philadelphia shipyards. As timber sources in Pennsylvania, Maryland, New Jersey, and Delaware had started to thin out, lumbermen began searching for new stocks and discovered a supply of white oak at Woodlawn (Muir 1943:37; Frisbee 1969:36-37).

Although Lorenzo had entered an agreement to sell the land to Joseph Gillingham and Chalkley Gillingham in 1846, he died in 1847 before finalizing the transaction and before the transfer could be finalized, Esther Lewis, his wife and executrix, filed a lawsuit in Chancery Court against the heirs of Charles Calvert Stuart to clear the title. Evidently, Stuart had never executed a conveyance to Lorenzo as per the terms of the trust he held for Woodlawn and the legal title vested to his adult and underage heirs. Ultimately, the suit was merely a formality and the title was cleared without any animosity (Fairfax County Chancery Records Case CFF98X).

The land sale was officially made on August 26, 1848 between Grantors Lawrence B. Taylor, a commissioner appointed by the County Clerk, and Esther Maria Lewis, still residing in Clarke County, and Grantees Jacob Troth, Chalkley Gillingham, Lucas Gillingham, and Paul Hillman Troth for \$16,630 (Fairfax County Deed Book N-3:102). Joseph Gillingham, Chalkley’s uncle, who had entered the original agreement with Lorenzo Lewis had dropped out for unknown reasons and Chalkley took on the other three as partners. Together, this group formed the firm of Troth-Gillingham Company (later renamed Gillingham & Troth) with the intention of producing lumber for Philadelphia shipyards and bark for local tanneries, as well as selling land (as cited in Muir 1943:36-38; Frisbee 1969:3). The partners mortgaged the property with Mahlon Gillingham and Joseph Gillingham in 1849 (Fairfax County Deed Book O-3:331).

Subsequent land transactions over the next few years involved Troth-Gillingham dividing off tracts that had been cleared and selling them as small farms of around 50-200 acres. Buyers were often Quaker or Baptist immigrants from the Philadelphia area and New England, but also included local whites and former slaves. Terms of sale often reserved timber rights and easements to operate and maintain the millrace associated with Washington’s gristmill on Dogue Creek (e.g., Fairfax County Deed Book V-3:328; Frisbee 1969).

Three months after the Gillinghams and Troths jointly purchased Woodlawn, they divided it between the two families. The deed, dated November 17, 1848, indicated that Chalkley Gillingham and Lucas Gillingham (Party of the First Part) and Jacob Troth and Paul Hillman Troth (Second Part) decided to partition their rights and interests in Woodlawn, and for this purpose had opened a road through the land between Spencer’s Corner and a tract of land called “Muddy Hole.” The Gillinghams received

the land south of the new road, "which has been called 'the National Road'" and the Troths took the land to the north, except for lots that had been previously sold and a seven-acre parcel that included the mill, water rights, timber, and the oyster shell landing on Dogue Creek. The acreage and financial consideration involved were not specified (Fairfax County Deed Book O-3:395). Muir (1943:53), however, stated that each "partner" (as opposed to family) received 450 acres.

Comparison of the partition description with the accompanying plat and later transactions confuses how the land was distributed. Although the deed describes the new or National Road as running northwesterly, in fact it extends from southwest to northeast. Moreover, while the deed described the land north of the road as going to the Troths, later information suggest the Gillinghams had possession of Woodlawn Mansion.

Through these transactions, the Woodlawn Mansion had remained largely uninhabited. The Troth-Gillingham Company used it as a headquarters and it was evidently occupied as a residence on a temporary basis by new arrivals from the northeast until they could build their own houses (Frisbee 1969:4). Muir suggested that Paul Hillman Troth and his wife Hannah Maria, for example, moved into the mansion in the late 1840s (1943:59).

On March 25, 1850, Jacob and Paul Troth formally divided their joint holdings of the former Woodlawn estate. Jacob Troth and his wife Rebecca, still residents of Camden County, New Jersey, sold their 539.3-acre share of Woodlawn to their son Paul Hillman Troth and his Wife Hannah Maria for \$1. In the same deed, Paul and Hannah sold two tracts, one containing 255.05 acres and the other 100.25 acres, to Jacob for \$1 (Fairfax County n.d. Deed Book O-3:329). This transaction gave clear title of the Woodlawn Mansion to Paul Troth, and immediately afterwards, on April 9, 1850, Paul and Hannah sold the parcel just acquired, but described as containing 546.3 acres, to John Mason for \$3,700 (with restrictions on timber and water rights). The parcel also contained provisions for each party to hold half of the Woodlawn Mansion in common (Fairfax County n.d. Deed Book O-3:361).

In January 1855, several transactions documented an apparent series of agreements concerning the consolidation of the remaining Woodlawn estate under the ownership of John Mason. On January 1, Paul H. and Hannah M. Troth sold a half part of a tract, totaling 546.31 acres, to Chalkley Gillingham for \$6,000. The acreage is consistent with other transactions involving Woodlawn (Fairfax County n.d. Deed Book V-3:317). On the same day, Chalkley and his wife Keziah sold a 460-acre parcel to John Mason for \$5,000. The deed described this tract as the same sold to Chalkley by Paul and Hannah Troth on January 1, 1855 (Fairfax County n.d. Deed Book V-3:328).

A third deed dated to January 1 involved John Mason and his wife Rachel selling Paul H. Troth an easement for \$1. The deed described the tract as the one on which John Mason now resides and being the land Mason acquired from Paul H. Troth and his wife and Chalkley Gillingham and his wife. This particular agreement gave Troth-Gillingham and Company rights of access to the waterpower from Dogue Creek, to the use of the road to the old mill, the mill race, and 20 feet of land on both

sides to allow for maintenance. The document further indicated that the tract was subject to two deeds of mortgage executed between Mason and Benjamin Dalton of Parsonfield, York County, Maine and Peter G. Mason, Tamworth, Carrol County, New Hampshire (Fairfax County n.d. Deed Book V-3:339). In a final transaction, dated three weeks later on January 24, 1855, Paul and Hannah Troth signed a quitclaim to "that tract of land ...known by the name of 'Woodlawn'" (Fairfax County n.d. Deed Book V-3:320; Figure 8).

THE MASONS AND WOODLAWN BAPTIST CHURCH

The Mason family was significant in the history of Woodlawn Baptist Church. John Mason was born in New Hampshire in 1799. Trained as a tanner, he switched to commerce, first as an itinerant peddler in remote Maine settlements and then opening a grocery in the town of Industry, Maine. Owing to "an unfortunate turn in a love affair," he became a partner in a freighter sailing routes in New England, Virginia, and the West Indies. He seems to have been generally successful in all of his undertakings but was ruined by the Panic of 1837 and in the aftermath, moved his family to Haddonfield, New Jersey, a town in Camden County (Hatch 1893:234-236; Brown 1903:V:395).



Figure 8. Detail Showing Location of Woodlawn of the 1859 Map of George Washington's land at Mount Vernon, Fairfax Coy, Virginia. As it was & As it is. Laid down from old Maps made by G. Washington, and from actual surveys by W. Gillingham

Source: Library of Congress

John Mason's selection of Haddonfield as his family's new home was due to his association with John Gill IV, a Quaker with whom he had become acquainted. The Masons relocated to Gill's farm near Haddonfield and lived there for nine years and, during that time, established business with the Troths and Gillinghams. Mason found his own ideals compatible with philosophies of not only Gill, but also the Troths and Gillinghams. These Quakers shared Mason's views on the abolition of slavery, progressive agriculture, and education (Henry and Watson 2004:I:19).

Historian Tony P. Wrenn remarked that there was a lumber business relationship already intact between Mason and the Camden County Quakers prior to the arrival of the Mason family to Fairfax County, and it eventually led to the family's relocation from New Jersey to Virginia (Wrenn 1972:27). Wrenn stated that Mason was one of the initial members of the Troth-Gillingham Company, but that his contribution to the group was primarily financial in nature (Wrenn 1974:7).

By 1850, John Mason purchased remnants of the Woodlawn estate, restoring the house and farm fields (Frisbee 1969:5). U.S. Census records from 1850 to 1870 listed his occupation as "Farmer," indicating his main focus had switched from commerce. Mason remained in residence at Woodlawn until his death in 1888 (Woodlawn Baptist Church 1968).

John Mason joined the Baptist Church in 1828, a year after he married Rachel Lincoln in Eastport, Maine (Hatch 1893:234). Once settled at Woodlawn, Rachel organized a Sunday school, which operated out of the mansion parlor, while John served as the school's superintendent, a role he continued to his death, at which point their oldest son Ebben (Ebenezer) took it over (Woodlawn Baptist Church 1968). Frisbee (1969) implies that the Masons arrived in the area with other Baptists in the same sort of communal migration as the Quakers.

Although the timing and circumstances are not entirely clear, enough Baptist families arrived over the next few years to form the beginnings of a congregation. This group, which met in the parlor of Woodlawn Mansion, drew the notice of a retired Washington D.C. minister, William F. Nelson, who with several other members of the Calvary Baptist Church in Washington, assisted the community in organizing what evolved into the Woodlawn Baptist Church. The congregation was formally established in 1868 and for the first few years continued to meet in the Woodlawn parlor (Frisbee 1969:19; Woodlawn Baptist Church 1968).

OTIS TUFTON MASON AND A FAIRFAX COUNTY RETREAT

Though John and Rachel were closely associated with the mansion at Woodlawn and the founding of Woodlawn Baptist Church, Otis Tufton Mason was ultimately the most renowned of the Mason family due to his ethnographic and anthropological work. Born in his mother's hometown, Eastport, Maine, on April 10, 1838, Otis Mason moved with his family to New Jersey and then Woodlawn in 1850. Between 1856 and 1861, he studied at Columbian College (now George Washington University) in Washington, D.C. and married Sarah Henderson of Alexandria in 1862. After finishing at Columbia, he obtained a position as a teacher and principal in its Preparatory Department, which he held until 1884.

His scholarly activities focused on the culture and history of the eastern Mediterranean, and Mason eventually come to become a prominent ethnologist and anthropologist (Brown 1903:V:395; Hough 1908; Coen and Baxter 1983; Wrenn 1972:30).

In 1872, Otis T. and Sarah Mason sold a two-acre parcel taken from their share of Woodlawn to a group comprised of O.T. Mason, William H. Mason, Charles Clear, John Haislip, Thomas Williamson, and David T. Frost, Trustees for the Woodlawn Baptist Church. The sale, dated August 31, was for \$1 and was made on the condition that the said Baptist church would, within a reasonable time, put up a suitable house of worship. Additionally, the land could never be leased, transferred, or assigned to anyone or used for any purpose other than a “regular” Baptist church, “that is to say a church whose principles are redemption by the blood of Jesus Christ, Baptism by Immersion upon a profession of faith and communion with those thus baptized only and if at any time the said land and premises shall cease to be occupied and used for the purposes above mentioned then said lot of ground shall revert to said Otis T. Mason, his heirs, and assigns” (Fairfax County n.d. Deed Book Q-4:100).

In his diary, referenced by John Teschner in a 2007 article in the *Mount Vernon Gazette*, Taylor Blunt recorded hearing Mason preach at Woodlawn Baptist Church on seven separate occasions between 1872 and 1892. According to the article, Mason sometimes delivered two sermons on the weekends (Teschner 2007). Mason acted as the primary preacher at Woodlawn Baptist Church until Reverend Samuel Chapman became the church’s first regular pastor (Woodlawn Baptist Church 2013).

In 1872, Mason also became affiliated with the National Museum (now the Smithsonian) as a collaborator in ethnology and became the Curator of Ethnology in 1884, a position at which he remained until 1902 when he became Acting Head Curator in the Department of Anthropology. Mason’s *Basketwork of the North American Aborigines* became a standard in the subject, while his additional publications, including *The Origin of Inventions and Woman’s Share in Primitive Culture* remained popular well after his death. During this period, Mason’s research interests switched from Oriental studies to the culture of the Americas, and he earned a Ph.D. in 1884. The “Acting” designation was removed from his Head Curator title in 1905 and he remained in this post until his death. When Mason passed away in 1908, he was one of the country’s most well-known scientists and had become an internationally known lecturer. Both Mason and his wife Sarah (d. 1900) are buried in Oak Hill Cemetery, Washington, D.C. (Brown 1903:V:395; Coen and Baxter 1983; Hough 1908; Wrenn 1972:30).

The land on which the Otis Tufton Mason House now sits was separated out of the larger Woodlawn estate in 1865. John and Rachel Mason began dividing portions of Woodlawn among their children in the 1860s. On January 1, 1865, their second son Otis, then 26 years old, purchased a 63-acre tract separated from the southwestern portion of the Woodlawn estate for \$1,500 from John Mason, plus an additional \$1 for Rachel Mason (Fairfax County n.d. Deed Book F4:196).

Though some studies suggest that Otis Mason constructed the house in two parts beginning around 1873, architectural evidence and additional scholarships support three individual construction phases. Files at Woodlawn Plantation indicate that the date of construction for the house was 1854, while Historic American Building Survey files confuse the original building section with the 1840s Gray’s Hill property (Hellman 2013; Pryor n.d.).

As late as 1860, however, all of the Mason family members, including 22-year-old Otis (recorded as 21 years old) and the eldest married Mason son, Eben, are described as still residing in John and Rachel Mason's Woodlawn Mansion home (U.S. Federal Census 1860). Furthermore, as stated, Otis Mason was enrolled at Columbian College between 1856 and 1861.

While no reference is given for the 1854 construction date, physical evidence of the building's centermost section indicates that this original two-story building may date to the 1850s, if not earlier (Hellman 2013). Though the history of the Otis Tufton Mason House is hazy, plausible theories related to its original build date and subsequent phases of construction appear to be relatively limited. Watson & Henry Associates proposed three scenarios in a 2004 report:

- John Mason had the first and possibly the second sections built in the 1850s or early 1860s and Otis and [Sarah] Mason added the third build;
- Otis and [Sarah] Mason started the house in the early 1860s before buying the property and constructed it in three builds over time; or
- Otis and [Sarah] Mason built all three sections over the period of time they owned by property, starting in 1865 (Henry and Watson 2004:l:65).

It is also possible that the first stage of the building was constructed shortly before John and Rachel Mason purchased the land. This scenario suggests that the original builders of the Otis Tufton Mason House may have been some of the area's earliest Quaker residents. Additionally, while Mason's brothers, Ebenezer and William, received land farther east in 1864 and 1865, respectively, it is possible that one of them resided in the home prior to constructing their own homes on their own property. Both brothers are described as living in the near vicinity of John and Rachel Mason, though no longer with their parents, in 1870 (U.S. Federal Census 1870).

Previously, historians have noted that no Mason besides John is indicated on Chalkley Gillingham's 1859 survey of the area or General Irvin McDowell's 1862 map (Figure 9). Others have suggested that the building on the tract reading "60 a" or northernmost of the two buildings denoted as "Wright" could be the Otis Tufton Mason House. However, Gray's Hill, a house named for the hill (here denoted as "Greys Hill") and owned by Thomas Wright at that time, was located farther southwest and has been incorrectly identified as the Otis Tufton Mason House in previous surveys (Hellman 2013). It is possible that these maps did not indicate the Otis Tufton Mason House due to its small size. By 1862, its two stories covered a humble footprint of approximately 14" x 15 ½'.

The most likely explanation for the tenacious application of the proposed circa 1873 build date by researchers is the tax record associated with the property. Though Otis Mason acquired the property from his parents in 1865, he is not listed in 1866, 1870, or 1872 land tax records for Fairfax County. In 1869, an "A.T. Mason" is described in the tax record as owning 63 acres at Woodlawn, whose buildings total \$0 of the \$844.70 total. Records for 1874 reflect the first taxation for buildings valued at \$100 on Otis Mason's property in Fairfax County (Fairfax County 1820-1950). It is more likely that the circa 1873 build date is for the second phase of construction at the building's southwest end.

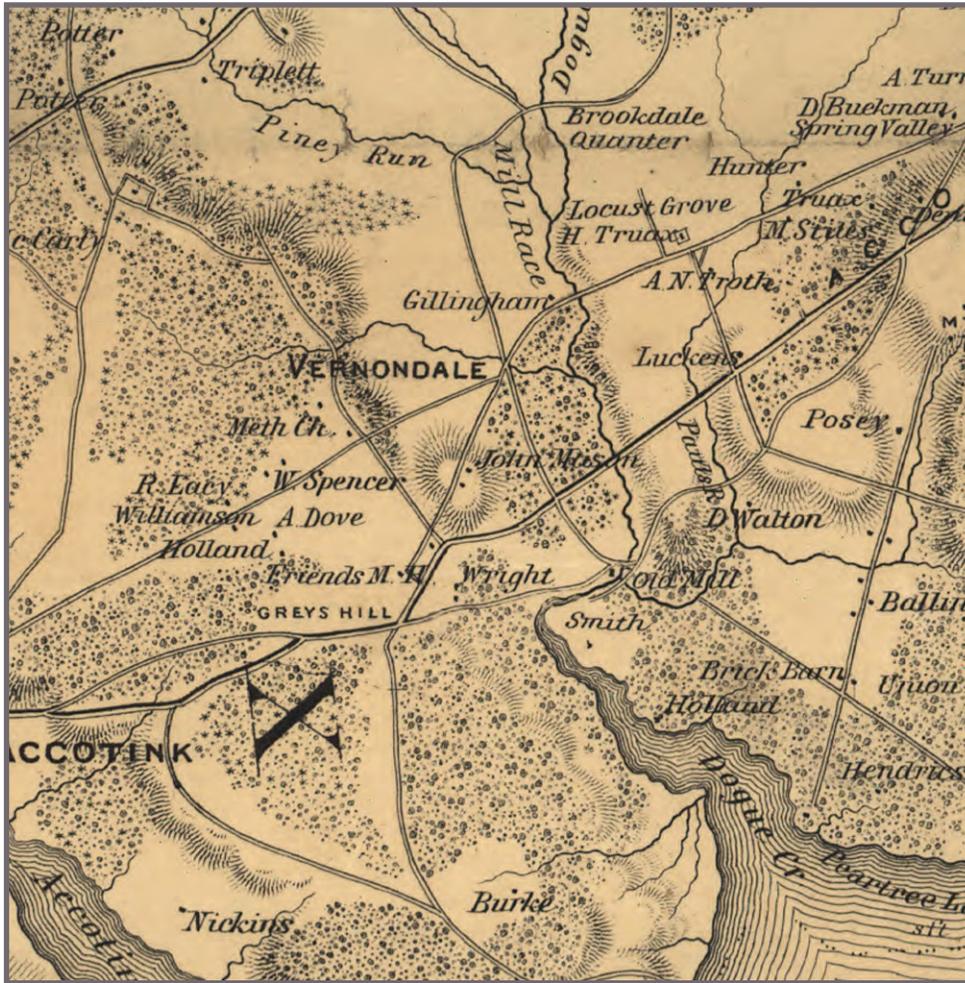


Figure 9. Detail of 1862 Map of N. Eastern Virginia and Vicinity of Washington

Source: Library of Congress

By 1870, Otis T. Mason is living in “the west part” of Washington, D.C. with his wife, two children, and 19 other people. Described as a “professor in Col,” Mason houses a housekeeper, hostler, cook, nurse, and 15 students. One student is J. Norman Gibbs, a 15-year-old member of one of the first Quaker families to come to the Woodlawn area (U.S. Federal Census 1870; Hellman 2013). Thus, despite his employment at Columbian College and later at the National Museum in Washington, D.C., it is apparent that Mason maintained ties to Fairfax County and likely used his house there as a weekend and occasional retreat instead of residing there on a permanent basis. As stated, Mason regularly spoke at weekend services for Woodlawn Baptist Church. However, it is possible that during these weekends he and his family retreated to his parent’s large Woodlawn Mansion home.

In 1879, Griffith Morgan Hopkins, Jr. denoted the Otis Tufton Mason House, alongside Woodlawn Baptist Church, Friends Meeting House, Woodlawn Mansion, and Grand View on a map (Figure 10). At this time, land taxes for Mason’s property still described a building worth \$100 out of the total \$1,467. However, by 1881, the building worth increases to \$400 of a \$1,466 total. This jump in the building’s



Figure 10. Detail of the 1879 Map of the "Mt. Vernon Dist. No. 3," from *Atlas of Fifteen Miles around Washington, including the County of Montgomery, Maryland*

Source: Library of Congress

worth supports the circa 1880 construction date of the third phase of construction: the two-story, northeast-facing gabled ell that houses what now reads as the building's primary entrance. Another jump in building value from \$400 to \$427 is described in 1895 records. This increase, though slight, may be the reason previous researchers attached the circa 1893 build date to the northeast-facing ell (Fairfax County 1820-1950).

A photograph of the Otis Tufton Mason House was marked with a circa 1890 date (Figure 11). In this photograph, the third phase of construction appears recently completed. The persons represented in the photograph are unclear. It is likely that the Caucasian people to the left are part of the Mason family. The man seated to the far left may be Otis Mason, as his appearance does correlated with images of Mason featured in issues of *The Popular Science Monthly* (Figure 12). It would seem that the couple and two children nearest the center would be children and grandchildren of Otis and Sarah Mason.



Figure 11. Otis Tufton Mason House, circa 1890

Source: Fairfax County Department of Planning and Zoning

However, in 1890, both Mason daughters remain in their parent's home in Washington, D.C., while George Mason, then 24 years old, is not described in either his parent's household or in the vicinity of Woodlawn (U.S. Federal Census 1890). As the house is continually described as a weekend retreat for the

Masons, however, it is probable that neither couple resided in this house on a regular basis.

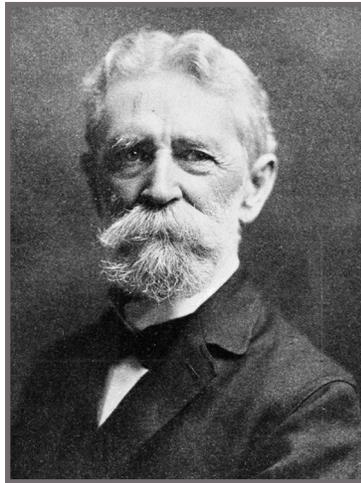
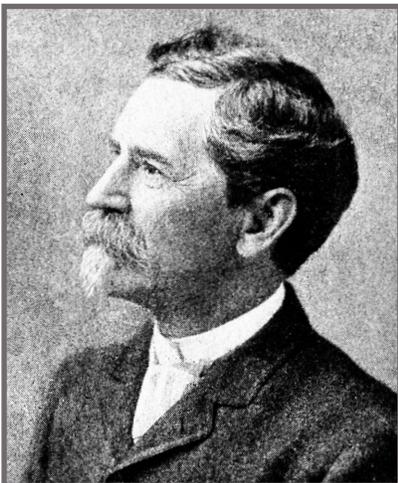


Figure 12. Otis Tufton Mason

A. From "Anthropological Work in America," July 1892

B. From "The Progress of Science," January 1909

Source: *The Popular Science Monthly*

It is still possible that this could be George Mason's family, or the family of nephew William H. Mason, who is described as living in the Mount Vernon district in 1900 with his wife, seven-year-old daughter, and four-year-old son. If this is indeed William H. and family, the photograph was likely taken closer to 1900 than 1890. It is, furthermore, possible that the elders seated to the left are Ebenezer and Elizabeth Mason, who are listed as residing in close proximity William H. Mason in 1900 (U.S. Federal Census 1900).

If the photograph was taken around 1900, it is even more likely that the older couple is Otis and Sarah Mason, and the younger couple is their daughter, Emily Tufton Mason, and her family. On June 4, 1895, Emily married Edward B. Pollard, a college professor, in Washington, D.C. (District of Columbia 1895; U.S. Federal Census 1900). The 1900 census data associated with the Pollards supports creates the strongest support behind the theory that they are indeed the couple in the photograph. In 1900, both the Pollards and the Masons permanently resided on the same block of P St NW in the Dupont Circle area of Washington, D.C. Furthermore, the children of Emily and Edward are described as three-year-old Emily and one-year-old Otis in 1900 (U.S. Federal Census 1900). Though the children seem slightly older than one and three years of age in the photograph, the age difference does not vary by more than one or two years. The children may be the best indicator for more specifically dating the photograph, which was most likely taken in 1902 or 1903.

The two African American men standing to the right are unknown. These men could be tenants of the house, day laborers, or farmers of the property. African American surnames listed in the Mount Vernon District in the vicinity of Woodlawn include Quander, Holland, Garrett, and Jackson in 1880 and Newman, Williams, Taylor, Hodge, and Franklin in 1900 (U.S. Federal Census 1880; U.S. Federal Census 1900).

The man presumed to be Otis Mason, seated to the far left, and the two standing men appear to be wearing boutonnières, suggesting a special occasion. The flowering meadow indicates that this photograph was most likely taken during the spring, which could mean that the gathering was a birthday celebration for the elder Otis, who was born in April and would have been 65 years old in 1903. As Otis and the two standing men are all wearing boutonnières, the photograph was more likely commemorating an Easter gathering. It would also make sense that the Masons would travel to the Woodlawn area for such holidays due to their strong associations with Woodlawn Baptist Church.

A third possibility is that this gathering signified the completion of the last major addition to the Otis Tufton Mason House. Here, the two original sections appear to be covered in chipping paint, while the later ell appears unpainted. If this third possibility is correct, the building's third phase of construction may date to around 1900. It may also indicate that the two standing men were involved in constructing the addition.

The photograph also supplies information regarding the house setting around 1900. Tall oaks provide a canopy along the northwest and southwest elevations and indicate a heavily wooded area still in place by this time. The open, grassy meadow has been left to grow and flower naturally near the

northeast and southeast elevations. Closest to the house, however, the high grass does appear to be trimmed. The two couples and the children are gathered in front of a fruit-bearing, possibly pear, tree and additional, naturally growing shrubs. While somewhat less wooded along the northwest and southwest elevations and lacking the fruit tree and shrubs to the southeast, the natural meadow conditions along the northeast and southeast elevations remain in place to date. Also worth noting are the large barrel planters flanking the circa 1890 entrance and the tiered table of potted plants in the north corner of the southeast porch.

THE OTIS TUFTON MASON HOUSE IN THE TWENTIETH CENTURY

John and Rachel Mason both passed away in the late 1880s. While Otis Mason retained the house near his parent's residence following their deaths, in 1902, he sold his 61 acres to Paul Kester. Kester had purchased the Woodlawn Mansion property just the year before (Fairfax County n.d. Deed Book L6:379; Wrenn 1972:30). Following Kester's purchase of the Otis T. Mason's property, the house and the land on which it sits transferred along with the Woodlawn Mansion property to the present. Thus, occupancy and use of the Otis Tufton Mason House becomes even more obscure following the Mason-Kester transaction. During Kester's brief ownership of Woodlawn Plantation between 1901 and 1905, the playwright repaired and restored the residence (Wrenn 1972:30-31). However, little is known about the state of the house during this period.

Elizabeth Sharpe purchased Woodlawn Plantation and all of its acreage from Kester in 1905. During Sharpe's period of ownership, restoration of the Woodlawn Mansion continued, as did the acquisition of additional surrounding acreage (Tuminaro 1998:11). At the advice of a representative from the Department of Agriculture, Sharpe had a bank barn, dairy, and corncrib constructed at their present location, just northwest of the Otis Tufton Mason House around 1913 (Gomolinski-Lally 2005).

A regular traveler, Sharpe was often absent from her property, and likely housed some grounds employees at both the Otis Tufton Mason House and Grand View, which she also acquired in 1905 (Wrenn 1972:31). Historical data regarding the subsequent ownership by Senator Oscar Wilder and Bertha W. Underwood and later Woodlawn Public Foundation, Inc. continues to focus primarily on Woodlawn Mansion and its immediate surrounds. However, it is highly probable that both the Otis Tufton Mason House and Grand View were used as residential properties for associates or employees of the owners between the years 1925 and 1957.

Field notes on the 1970s restoration of the Otis Tufton Mason House refer to "Mrs. Thorpe" as a former resident of the building. This detail and other data provides some background as to at least one family that resided at the house during the twentieth century. Richard L. and Ada B. Thorpe, along with their three children and one immigrant lodger from Cuba, are described in the census listing immediately above the Underwood household (Library of Congress 1925; Figure 13). By 1930, Oscar Underwood had died and Bertha resided at Woodlawn with four servants. Richard and Ada are described as a farmer and housewife, respectively, who rent a house on a farm with their son Elvan R. and daughters



Figure 13. Senator and Mrs. Underwood and Colonel S.S. Underwood (Right)

Source: Library of Congress

Lucille E. and Doris M. Curiously, the Cuban immigrant, Blas. Garcia, is described as a chauffeur. It is possible that Bertha Underwood employed Garcia as her chauffeur and housed him with the Thorpe family at the Otis Tufton Mason House (U.S. Federal Census 1930).

The next census reveals a change in enumeration districts. Mount Vernon Magisterial District (30-18) consists of those households NW of U.S. Road 1; while Mount Vernon Magisterial District (30-19A) are those households E of U.S. Road 1. Thus, the Thorpe and Underwood households are described separately. This area remained relatively rural by 1940; therefore, street names are not described with clarity. Consequently, while the Thorpes are still described as living in a rented house on a farm, the census listing does not provide a full description of their exact location, and it is not clear if they remained at the Otis Tufton Mason House at this time (U.S. Federal Census 1940).

Following the death of Bertha Underwood in 1948, Woodlawn Public Foundation, Inc. purchased the full acreage and opened Woodlawn Mansion for tours the following year. In 1951, National Trust for Historic Preservation began leasing the full property and took full ownership by 1957 (Wrenn 1972). Names of Mason House residents from this period to the present appear to apply to associates of the stable complex or employees of Woodlawn (National Trust Staff 1950-2014).

While the immediate surroundings of the Otis Tufton Mason House had long been used, in part, as a farm, the focus of this area became more specifically centered on equestrian activities in the late 1950s as the property was rezoned from agricultural to commercial in 1958. The addition of the larger stable in the early 1960s and a smaller one in around 1970 by then-lessee Captain Stuart F. Updike aided in the property's use by the Belvoir Polo Club and as a riding school. Updike leased the stable property from the late 1950s until the 1970s. Records suggest that lessees of the land south of U.S. Route 1 often sublet not only portions of the barns on the property, but at times, also rented the Otis Tufton Mason House. For example, in 1965, Updike is forced to evict his veterinarian, "Doc" Boyd, who is renting the Otis Tufton Mason House at that time, in order to update the building's septic tank and field (National Trust Staff 1950-2014).

In the mid-1970s, Laura Walker and her husband, Captain Wickliffe Walker, resided in and restored the Otis Tufton Mason House as part of an arrangement made with owners, National Trust for Historic Preservation. The agreement with the Walkers was the first of its kind made by National Trust for Historic Preservation (n.d.:2). Captain Walker, who then commanded B Company of the 30th Engineer Battalion at Fort Belvoir, represented the United States in slalom canoeing in the 1972 Summer Olympic Games in Munich, Germany (Hatcher 1975; Sports-Reference 2013). His wife, Laura, was trained as an anthropologist/archaeologist. Laura specialized in the restoration and preservation of historic buildings, and recalled putting to use the writings of Otis T. Mason in her studies at Brown University in Providence, Rhode Island. The Walkers hypothesized that the house was constructed in three phases between 1850 and 1890, and aimed to restore the house to its circa 1893 appearance in order to preserve all three historic construction phases. Though attempting to restore the house to this specific date, the house would not be a museum and was expected to remain in use as a private residence (Hatcher 1975; Walker 1974-1976; Figure 14).



Figure 14. Laura Walker and Captain Wickliffe Walker at the Otis Tufton Mason House, 1975

Source: *Belvoir Castle*

As expected, following the departure of the Walkers, the Otis Tufton Mason House continued to be used as a residence for tenants late 2006 (National Trust for Historic Preservation n.d.:2; Teschner 2007). Typically, residents were those with employment ties to Woodlawn and/or Scanlin Farms, Inc. between 1978 and 1991 or Woodlawn Stables after 1991. According to former tenants, Steve Phelps, Nicole Sours, Charles Sims and his wife Elizabeth Bancroft, Boyd Dunnavant and his mother, and Cindy Mitchell and her family, who ranged in title from Woodlawn directors and groundskeepers to Woodlawn Stables owners and employees, all resided in the Otis Tufton Mason House at one period of time.

Four: Building Evolution

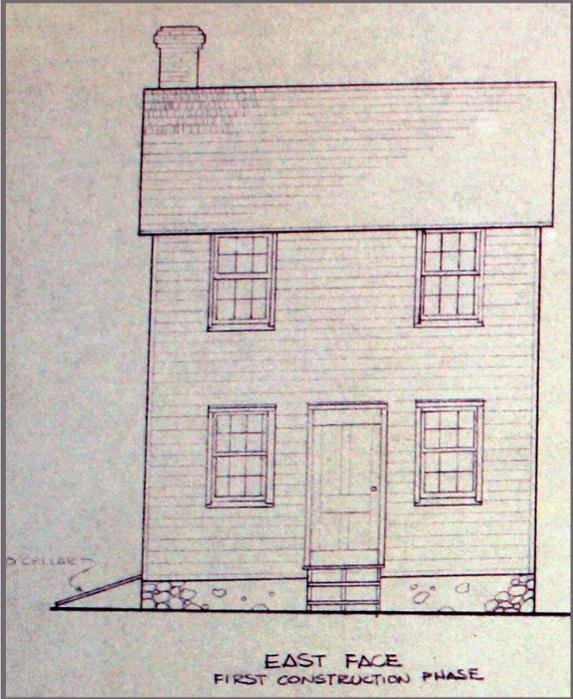
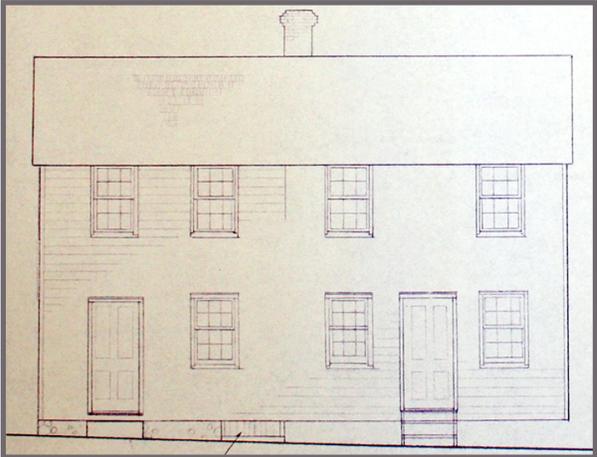
The evolution of the Otis Tufton Mason House, an L-shaped, two-story residence with a cross-gabled roof, can be divided into several periods, during which owners or tenants made substantial additions or subtractions to the building. During the Mason tenure, the building's three major sections were constructed. The earliest section, a two-story, three-bay house was erected around 1854 and included a cellar that was accessible along its southwest elevation. Around 1873, a two-story, two-bay addition covering the building's southwest elevation was built. Finally, an ell that created the building's current L shape was added circa 1880. This addition now serves as the building's façade.

Between 1880 and the 1930s, the building's appearance remained fairly static, with only minor alterations. The Kester and Sharpe periods of ownership produced no known changes. Under the Underwoods' ownership, a hip-roof porch was added to the 1880 addition during the Thorpes' occupancy in the 1930s and minor alterations to the building continued. After the National Trust for Historic Preservation took ownership in the 1950s, minor alterations and repairs continued until the 1970s, when a major preservation project was launched to restore the building to the appearance of the circa 1893 Mason House, a date selected to reflect its significance as the Otis Tufton Mason House.

Between 1974 and 1976, Laura and Wickliffe Walker, funded by the National Trust for Historic Preservation (Appendix A), worked to restore the building to 1893, which was the presumed date of construction of the latest building section at that time. Many of the original building elements had deteriorated beyond recovery or had already been removed or filled in, which was the case with one of the original door openings. Failing elements and features that were added following the Mason period of residence were removed and replaced with materials that attempted to replicate the appearance of the circa 1893 Otis Tufton Mason House. Walker's field notes, reproduced photographs, and drawings from the restoration helped to inform this study and are reproduced in Appendix B.

After the restoration, the circa 1880 addition had follow up work to fix water and termite damage recorded in a 1992 conditions report. Christopher Owens of The Restoration Woodworking Company completed the work, and his notes, reports, and drawings provided guidance for additional construction elements not visible during site visits for the current study (Appendix C).

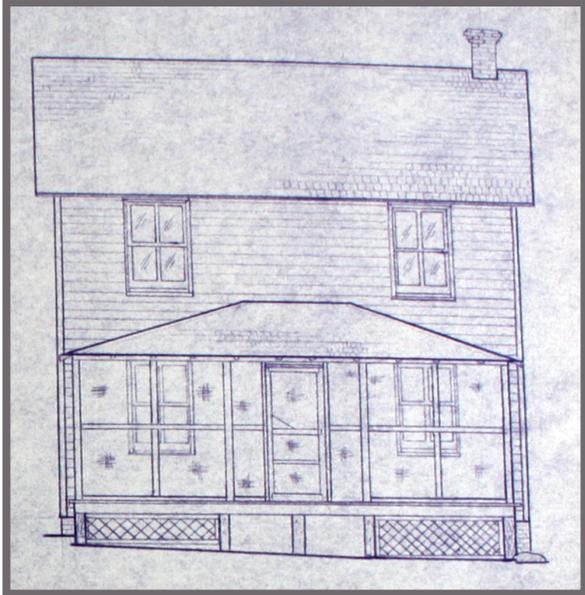
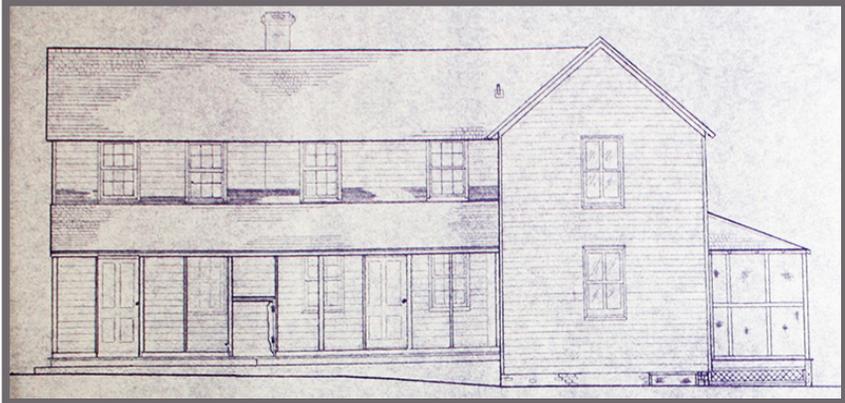
BUILDING EVOLUTION

Tenures	Dates	Description of Events
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">MASON TENURE</p>	<p>1854</p>	<p>Approximate date of construction for the earliest building phase of the Otis Tufton Mason House. Note the exterior access point to the cellar on the southwest elevation.</p>  <p style="text-align: center;">EAST FACE FIRST CONSTRUCTION PHASE</p>
	<p>1873</p>	<p>Approximate date of construction for the second building phase of the Otis Tufton Mason House, which included a kitchen on the first story and bedroom on the second.</p>  <p style="text-align: center;">EAST FACE SECOND CONSTRUCTION PHASE</p>

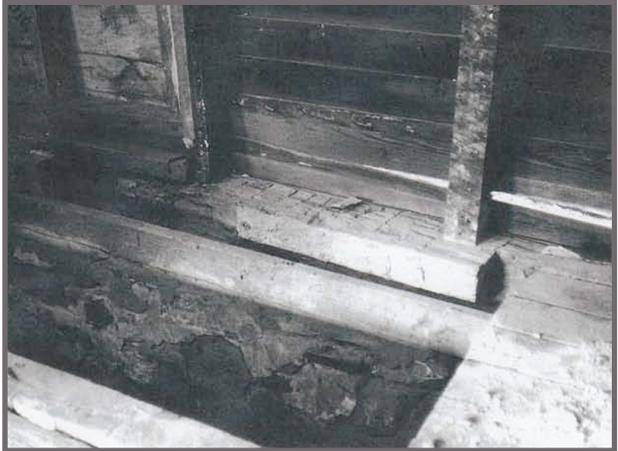
Source: Walker 1974-1976

Source: Walker 1974-1976

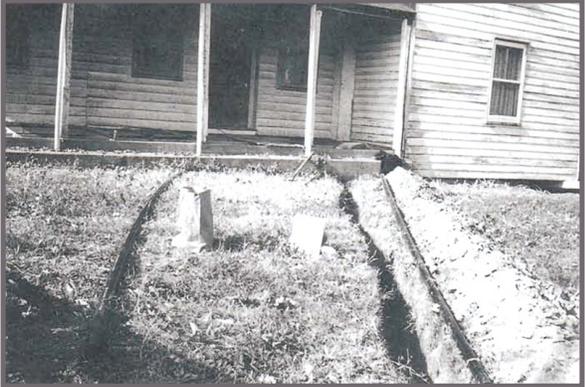
BUILDING EVOLUTION

Tenures	Dates	Description of Events
MASON TENURE	1880	Approximate date of construction for the third building phase of the Otis Tufton Mason House, which included a parlor on the first story and two bedrooms with a connecting hall on the second.
	1885	Approximate date of construction for the southeast porch.
UNDERWOOD TENURE	1930s	<p>Period of time during which the hip-roof porch was added to the northeast elevation of the circa 1880 building section.</p>
		 <p>Source: Walker 1974-1976</p>  <p>Source: Walker 1974-1976</p>

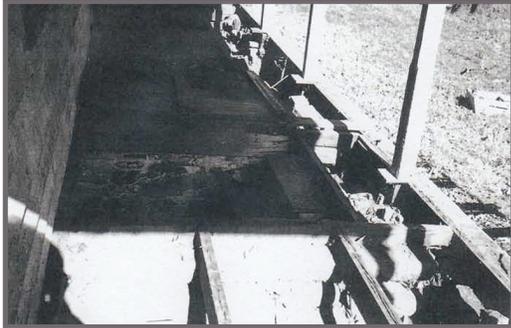
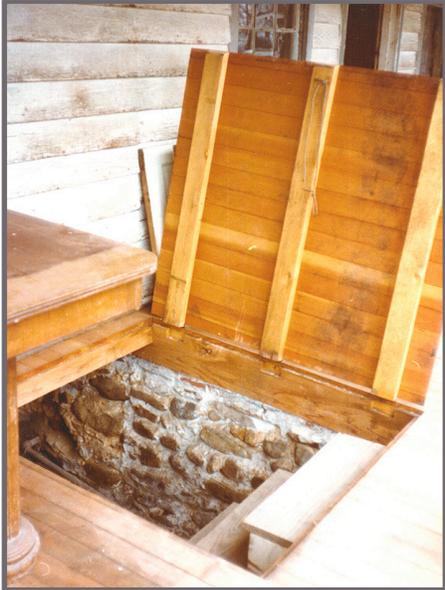
BUILDING EVOLUTION

Tenures	Dates	Description of Events
UNDERWOOD TENURE	1930s	Approximate date that tongue-and-groove boards were installed on the dining room walls and ceiling. This type of board was popular in the 1930s, when tenants often used it as a base on which to attach heavy wallpaper with decorative tacks.
	1940s	Date of the two-panel bathroom door, which indicates an approximate date of the bathroom's construction.
NATIONAL TRUST TENURE	1953	<p>The earliest possible date for repositioning the outside cellar access to the interior dining room and the reuse of the circa 1873 trapdoor access as a coal chute. The repositioning was done when the stairway was altered and was necessary in order to have ready, interior access to a coal furnace, which would need stoking.</p>  <p>Source: Walker 1974-1976</p>
	1968	<p>A fire damaged much of the northwest wall at the Otis Tufton Mason House.</p> <p>A new septic tank was installed east of the circa 1880 building addition.</p>
	1970	<p>Latest approximate date of construction of the concrete step lining the southeast edge and south corner of the southeast porch.</p> <p>Because all but one original log joist appeared to have collapsed, the porch flooring was probably not removed when the step was added.</p>  <p>Source: National Trust for Historic Preservation circa 1976</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1974	<p>An existing French drain in the cellar was enlarged. While digging in the drain, "a natural subterranean water-conducting layer of gravel overlaying a very hard layer impervious to water" was described.</p> <p>A small wood-or-coal stove was purchased for the smaller, circa 1880 second-story room.</p> <p>The circa 1880 chimney was reported to have a small, 4" x 8" flue with an added flue liner and was previously "reworked."</p>
	1975	<p>A Real Apollo wood- or coal-burning stove was purchased for the kitchen from Acme Stove Company in Washington, D.C., who acquired the stove from a razed D.C. house. A plate screwed onto the front of the stove reads "W.S. Jenks & Son, Washington, D.C." This name signifies the stove's original retailer which is still in business. A stove pad of quarry tiles and plywood was built to hold the stove and to make the appliance movable.</p> <p>A sump pump was installed, replacing the French drain. Workers dug a trench for a new sump pump outlet, which is located at a covered well southeast of the house.</p>  <p>Source: Walker 1974-1976</p> <p>Studs for the first phase of construction were identified as 4" x 3" poplar running from sill to second-story plate. The second story was reported as hanging from a ribbon band measuring 1" x 6" set into studs. Studs were originally irregularly spaced to fit doors and windows.</p> <p>Fieldstone foundation exterior walls were repainted.</p> <p>Porch flooring (not original) was removed and replaced with tongue-and-groove wood board affixed with lightweight cut flooring nails.</p>  <p>Source: National Trust for Historic Preservation circa 1976</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975	<p>Parlor ceiling joists were described as 2" x 6" rough-sawn boards in good condition with a small amount of sag resulting in the attachment of 2" x 4" pre-stressed boards to reinforce.</p> <p>Roof shingle fragments were found in the attic of the circa 1880 addition and were an appropriate match for replacement square-butt cedar shingles. Exterior-grade plywood roof sheathing measuring ¾" was added below fire-resistant cedar shingles.</p>  <p>Source: National Trust for Historic Preservation circa 1976</p> <p>The walls and ceiling of the circa 1873 second story were demolished, revealing sawn ceiling joists tied to rafters. Salvaged tongue-and-groove boards were added to reinforce rafters. Three newer 2" x 4" studs were identified in the northwest wall. This stud replacement likely followed the 1968 fire.</p> <p>A cement culvert associated with the creek was noted and later reported as destroyed.</p> <p>Though no path was found during the present study, a loose brick path along the northwest elevation was reported.</p> <p>The post-1953 cellar access was closed and the interior access steps were trimmed and relocated to the reestablished, circa 1880 cellar access point via a trap door in the porch.</p>   <p>Source: Walker 1974-1976</p> <p>Source: National Trust for Historic Preservation circa 1976</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">NATIONAL TRUST TENURE</p>	<p>1975</p>	<p>All gutters, downspouts, lightning rods, and cables were removed, set aside, and reinstalled following roof and chimney work.</p> <p>Reaching behind parlor baseboards revealed two layers of floor. Thus, floors in use at that time were not original.</p> <p>A metal sanitary vent pipe was added for the bathroom.</p> <p>Parlor floor joists were found supported by a log girder running southeast to northwest for the length of the room.</p> <p>Rotted verge boards were replaced.</p> <p>Concrete block faced with brick and 8" poured and stepped (to match the slope of the land) concrete footings replaced the failing northeast wall of the cobblestone foundation on the circa 1880 addition.</p> <p>The foundation wall was originally set on cobblestones without footings. Though a 1" bow was found in the northeast sill, studs and joists were deemed to have sufficient bearing surfaces. Thus, the new foundation wall was constructed to follow the bowing sill. This foundation wall remains intact to date.</p> <p>The southwest shed at the end of porch was reclad in wood shiplap siding.</p>



Source: Walker 1974-1976



Source: Walker 1974-1976



Source: National Trust for Historic Preservation circa 1976

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975	<p>The single-story, hip-roof porch was removed. This decision was made following the resolution to restore the house to the last period of Mason ownership.</p> <p>This porch ceiling was composed of rough-sawn nominal 1" x 6" planks on the large north plane, and finished nominal 1" x 6" planks on the two smaller side planes. The porch was screened in at one point, but not originally.</p> <p>Sash moldings from the first and second construction phases did not match and windows held a mix of old and new glass. The sashes were scraped, stripped, repaired, reglazed, and fitted. Older glass was repositioned to high-visibility locations.</p>
		Source: National Trust for Historic Preservation circa 1976
	Source: National Trust for Historic Preservation circa 1976	

BUILDING EVOLUTION

Tenures	Dates	Description of Events
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">NATIONAL TRUST TENURE</p>	<p>1975</p>	<p>The southeast porch was described as originally constructed with log joists on a brick pier foundation and chamfered supports.</p>  <p>Source: National Trust for Historic Preservation circa 1976</p>  <p>Source: Walker 1974-1976</p>  <p>Source: Walker 1974-1976</p> <p>New rough lumber trim was applied inside the cellar door to cover pressure-treated framing that was used to support the porch floor and cellar door.</p>  <p>Source: Walker 1974-1976</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975	<p>The parlor walls and ceiling were originally plaster, with Celotex boards and lattice battens applied at a later date. Lath originally ran behind the door and window trim, as well as behind the brick chimney.</p> <p>Walls were refinished with drywall in an attempt to mimic a plaster appearance.</p> <p>Resin core paper was found just outside the parlor's balloon frame, suggesting that it was applied prior to the installation of the addition's shiplap siding.</p> <p>Diagonal bracing was found at the parlor's east corner. As this bracing was not mentioned during later repairs, it is possible that it was removed.</p> <p>Horizontal tongue-and-groove boards were found on the dining room ceiling and walls when the drywall was removed. As this cladding was not original and was not believed to date to the period of restoration, it was removed and, where salvageable, saved for use elsewhere in the house.</p>
		<div data-bbox="867 703 1442 1348" data-label="Image"> </div> <p data-bbox="906 1360 1149 1381">Source: Walker 1974-1976</p> <div data-bbox="867 1398 1442 1860" data-label="Image"> </div> <p data-bbox="870 1871 1114 1892">Source: Walker 1974-1976</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">NATIONAL TRUST TENURE</p>	<p>1975</p>	<p>Spacing behind the trim around doors and windows of the dining room suggested that when the house was first constructed, lath was applied, then trim installed, and the room was plastered. All salvageable trim pieces were removed and labeled.</p> <p>The northeast quadrant of the dining room ceiling was rotted and not salvageable. Joist patches and cracks were found in many places. Joists were removed.</p> <p>The dining room drywall sat on the presumed original 1" x 6" chamfered baseboards with 1" quarter-round molding lining wood plank floors. Baseboards were left mostly intact, with new wood patching in the dining room's northwest corner. It is not clear how much of the wood flooring was retained in this room.</p> <p>The kitchen ceiling was removed, revealing first whitewashed, then blue painted ceiling joists, suggesting that they were originally left exposed. A new northwest kitchen door was installed with a rim lock salvaged from the barnyard.</p>



Source: National Trust for Historic Preservation circa 1976

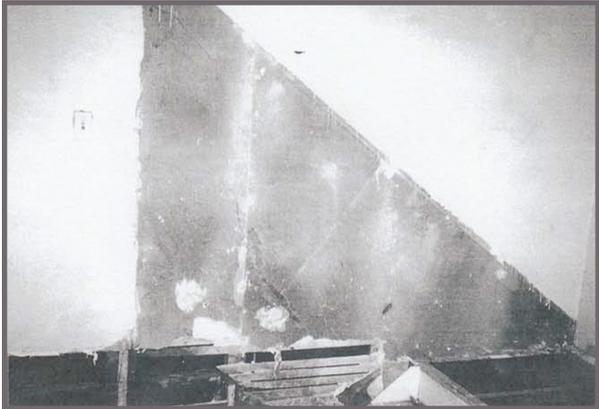


Source: Walker 1974-1976



Source: National Trust for Historic Preservation circa 1976

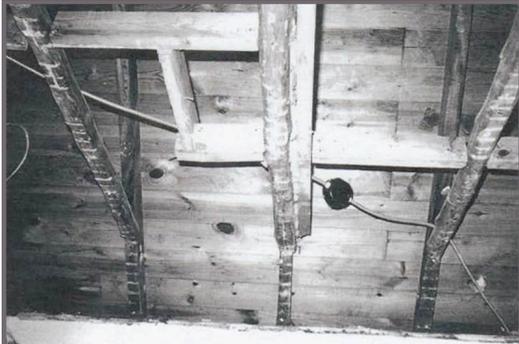
BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975	<p>Intact plaster and tongue-and-groove boards revealed an earlier, winding stairwell behind a replacement straight staircase and drywall.</p> <p>A high plaster scar suggested a sloping stair ceiling. Though this ceiling was not restored, the winding stairwell was reconstructed with one step in the dining room, four winders, and five steps in the main run. A railing was constructed on the second story along the southeast floor edge of the stairwell and a door was installed on the second step leading from the dining room.</p> <div style="display: flex; justify-content: space-around; align-items: flex-start;"> <div style="text-align: center;">  <p>Source: Walker 1974-1976</p> </div> <div style="text-align: center;">  <p>Source: National Trust for Historic Preservation circa 1976</p> </div> <div style="text-align: center;">  <p>Source: National Trust for Historic Preservation circa 1976</p> </div> </div> <p>Drywall ceilings and walls of the two second-story, circa 1880 rooms were removed, revealing rough-sawn 2" x 4" joists. Joists were removed, leveled, and tied to 1" x 6" rafters. Evidence of lath staggered every seven rows was found behind window and door trim of this section, as well as behind the chimney in the smaller of the two rooms. Lath was previously removed and the walls and ceiling re-finished in drywall. These two rooms and their adjoining hall were originally floored at one time, prior to the erection of partitions and the plastering of walls.</p>

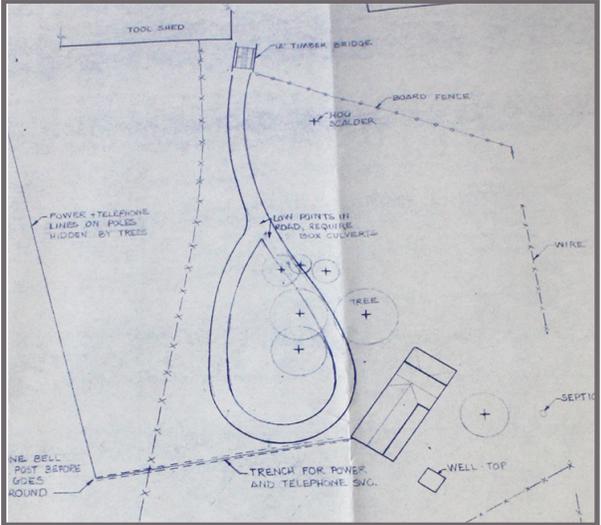
BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975	<p>Plaster in the small, circa 1880 second-story hall was mostly intact. Only minor patching was necessary.</p> <p>In both attic spaces, rafters were tied to joists by painted and unpainted tongue-and-groove boards salvaged from floors and walls elsewhere in the building. Circa 1880 attic joists were rough-sawn 2" x 4" boards.</p> <p>The second story of the first construction phase was partially insulated and drywalled.</p> <p>The southwest bathroom wall was an early, non-load-bearing partition wall. The partition wall sat directly on the earliest tongue-and-groove, random-width, pine flooring. No break in lath along the southeast wall was found, but marking indicated that the partition was installed prior to plastering the walls. The partition was made of four, rough 1" slabs nailed vertically to the floor and a shaped second-floor ceiling joist prior to installing ceiling lath. Removing the partition wall was necessary in order to repair the floor. The wall could not be reinstalled, but a new partition wall was constructed to the original dimensions.</p>  <p>Source: Walker 1974-1976</p> <p>In the bathroom, rotted floorboards, drywall, and baseboards were removed. Covering the northeast wall was uninterrupted lath. The northwest wall was deemed not original. Joists measuring 2" x 6" were partially rotted, poorly notched for plumbing, and sagging 2" or more in places. New 2" x 8" joists with Teco metal joist hangers were installed. These stronger joists helped carry the weight of new, heavy fixtures and removed existing sag without altering the ceiling height of the dining room below. Waterproof drywall was installed on the bathroom walls and ceiling, as well as on the new partition wall using modern construction techniques. Ceramic tile was installed over drywall in the shower/bathtub. Patterned vinyl Armstrong tiles were installed as flooring and framed by a 7" squared baseboard.</p>

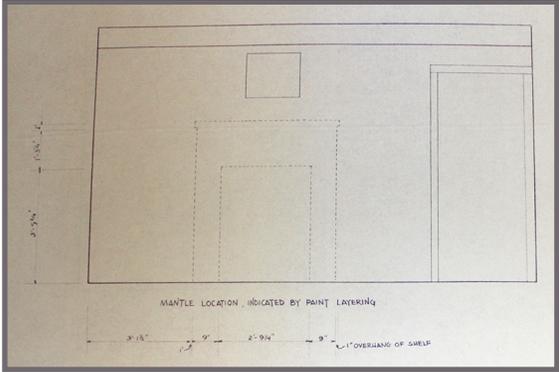
BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975	<p>Joists were 3" poles in the circa 1854 building section. Here, poles were flattened at bases, allowing for the attachment of lath when plaster was first applied. By 1975, some had already been replaced by 2" x 4" substitutes. Short, cross-framing 2" x 4" boards had also been applied to reinforce pole joists prior to the restoration. These smaller boards and any failing joists were removed and original and replaced joists were tied to rafters via painted and unpainted tongue-and-groove boards salvaged from floors and walls.</p>  <p>Source: Walker 1974-1976</p>  <p>Source: Walker 1974-1976</p>  <p>Source: Walker 1974-1976</p>  <p>Source: Walker 1974-1976</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975	<p>One mature tree was removed along the driveway due to "cramping." This image also notes needed driveway culverts. Whether or not these culverts were installed is not known. No culverts were visible during the current study.</p>  <p>Source: Walker 1974-1976</p>
	1975-1976	<p>The previously enclosed northwest elevation entrance of the original building section was recovered after installing a new sill.</p>  <p>Source: Walker 1974-1976</p>  <p>Source: Walker 1974-1976</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1975-1976	<p>Paint layering on the southwest kitchen wall provided evidence for previous finishes. The color sequence of kitchen wall paint, from most recent to earliest was green, ivory, red (faded and burned, with many bleeding shades), dark dull green, ivory, turquoise, light green, and bare wood.</p>  <p style="text-align: center;">Source: Walker 1974-1976</p> <p>Blistering caused by the 1968 fire on the northwest wall revealed evidence of a chimney-centered faux mantel. The mantel was thought to be original to the circa 1873 construction. Evidence of green then blue paint was found, followed by a chair rail applied up to the mantel height. When the room was painted ivory, the mantel was removed and an added chair rail and the mantel ghosting were painted ivory. Rust-colored shading suggested the mantel was painted or stained.</p>
	1976	<p>Cellar access point and walls were spot-patched from the cellar interior.</p> <p>A brick path identified south of the creek and west of the driveway was destroyed when the creek bed was bulldozed.</p> <p>Tongue-and-groove, cedar and pine flooring was removed in the kitchen, revealing log floor joists laid in a southeast-northwest arrangement. The two southwestern-most joists were rotted and removed. Replacement wood flooring was installed atop the remaining south joists.</p> <p>Bolts in a concrete pier in the kitchen floor suggested an early, attached washing machine. This pier was located adjacent to the southwest wall, near the modern sink and stove.</p> <p>The dining room chimney thimble was enclosed for safety. The close proximity to the stove thimble and the kitchen flue required the closure of one to prevent fire.</p> <p>Diagonal 1" x 6" framing braces were found in the kitchen's southwest wall. Cabinets and counters were removed, but tongue-and-groove boards and chair rails along that wall were retained.</p> <p>A break was retained in the replacement wood weatherboard siding applied to the southeast elevation.</p>

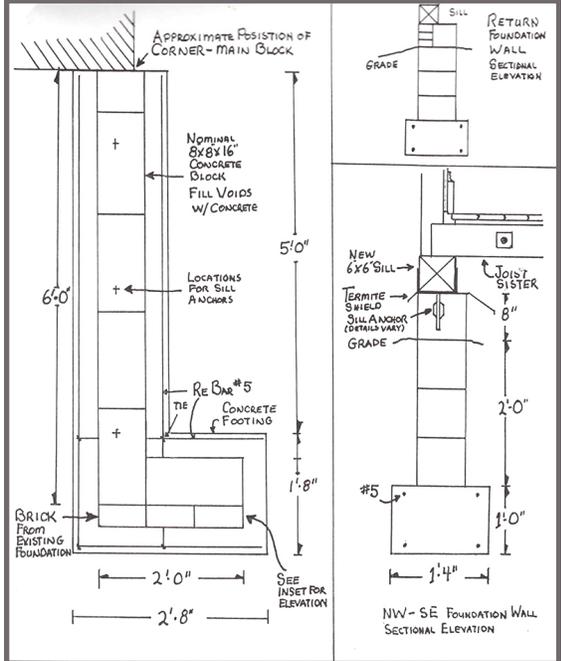
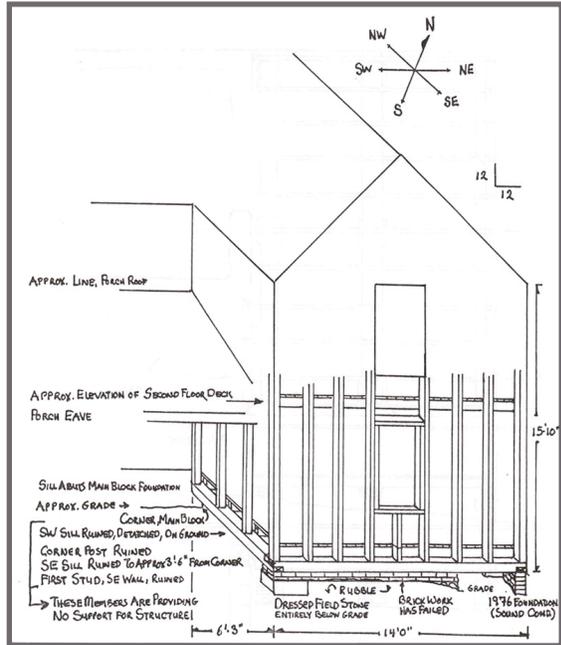
BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1976	<p>Random-width, yellow pine floorboards originally covered the kitchen walls and ceiling. This composition was partially reconstructed during the restoration and remains intact to date. Northeast wall cladding was not removed during the restoration.</p> <p>The northwest wall was fully replaced due to fire damage, and southeast and southwest tongue-and-groove wall boards were removed and reinstalled.</p>  <p>Source: Walker 1974-1976</p> <p>A closet was installed below the restored stairs with a six-panel wood door originally used in the kitchen. The door was trimmed to 5' 8" to fit the space and now has only four panels.</p> <p>Glazed redware doorknobs found throughout the house were relocated to the first floor.</p> <p>An old, four-panel wood door was purchased for the bathroom.</p> <p>Electric baseboard heaters were installed below almost all the windows.</p> <p>New, replica trim was fabricated for the windows and doors in the second-story, circa 1880 rooms using traditional building techniques, old knives, and 50-year-old lumber.</p> <p>Cabinetry was installed covering the southwest kitchen wall. A cooktop stove was set above the southeast cabinets and a refrigerator and freezer were hidden in the northwest cabinets. Below the cabinets, two salvaged trimmed, painted tongue-and-groove boards covered the cabinet base. Upper cabinets were installed two feet above the Formica countertops and cooktop stove for safety. A recessed light was installed above the sink.</p> <p>In order to meet specifications required for the under-counter refrigerator and freezer, countertops had to reach a finished height of 36." At that height, the southwest window did not clear the countertop and was not approved for relocation, as such would jeopardize the accuracy of the exterior restoration and could result in a loss of funding.</p> <p>A simple wire hook indicated a site for hanging an oil lamp above the southwest window.</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1977	<p>Earliest possible date for enclosing the walk-in closet-turned-laundry room on the second floor.</p> <p>Earliest date that concrete globes were installed at the entrance. These globes were once part of gates acquired at the 1907 Jamestown Exposition and installed at Woodlawn Mansion by Elizabeth Sharpe. The gates were removed sometime after the renovation of the gardens at Woodlawn in the 1950s.</p> <div data-bbox="927 422 1424 984" data-label="Image"> </div> <p style="text-align: right;">Source: Walker 1974-1976</p>
	1985	<p>Approximate date that a stackable washer/dryer was installed in the kitchen's north corner.</p>
	1992-1993	<p>A condition assessment of the circa 1880 addition, described a "shallow foundation of River Rock Rubble topped by two course of poor quality brick two wythes thick, a 9" x 9" x 21" dressed field stone entirely below grade at the south corner, and two brick piers carrying sills at their midpoint." The brick and rubble foundation was completely compromised, with failed mortar joints.</p> <div data-bbox="396 1646 924 1860" data-label="Image"> </div> <p style="text-align: center;">Source: Owens 1992a</p> <div data-bbox="938 1283 1433 1860" data-label="Image"> </div> <p style="text-align: right;">Source: Owens 1992a</p>

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	<p>1992-1993</p> <p>Rubble was removed and bricks were saved. In an attempt to widen the proximity of structural elements and the ground, material was removed to lower the grade to a minimum of 8" below the underside of the south corner sills. New foundation footings were composed of poured 3,000-PSI concrete, nominal 8" x 8" x 16" concrete blocks, rebar, and poured concrete to fill voids. The southwest sill was bolted to the foundation, and brick masonry walls were constructed measuring at least 8" in height between sill and ground level.</p>	
	<p>Identified below the parlor were transversely laid 2" x 6" sawn yellow pine joists, which were carried by two log girders with flattened upper faces.</p> <p>The circa 1880, southwest wall 6" x 6" hand-hewn oak sill was rotted, disconnected from studs, and pulled away from the southeast sill. The latter was also rotted and crumbling. The sills were replaced by new pressure-treated 6" x 6" Southern Yellow Pine (SYP) sills with half-lap corner joints and termite shields. The new sills were pinned with galvanized 60d spikes driven into pre-drilled holes.</p>	

Source: Owens 1992a

Source: Owens 1992a

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	<p>1992-1993</p>	<p>The log girder paralleling the southwest sill was rotted due to its direct contact with the ground. The rotten section was removed.</p> <p>The south corner post and first stud from the east were rotted near their bases. Pressure-treated, 1-1/2" x 4", #1-grade SYP stud and corner post sisters measuring 8' in length were installed and attached to studs and posts with 3" galvanized deck screws.</p> <p>Pressure-treated, nominal 2" x 6", #1-grade SYP joist sisters measuring 8' in length at relevant joists was installed. The joist sisters had a 4" bearing on sills and full bearing on the center-span log girder. Sisters were attached to joists using five 5" x 1/2", #5-grade galvanized bolts with square washers on both sides and spaced 1' from ends and 1'-6" apart on the joist sister centerline.</p> <p>No vapor barrier was found between the parlor's drywall and fiberglass insulation. The lack of vapor barrier combined with the vapor-trapping fiberglass insulation created visible condensation problems such as de-grading exterior paint. Thus, insulation was replaced and bituminous felt installed as sheathing.</p>
		<p>Source: Owens 1992a</p>
	<p>Source: Owens 1992a</p>	

BUILDING EVOLUTION

Tenures	Dates	Description of Events
NATIONAL TRUST TENURE	1993	Gutters at the southeast and southwest elevations of the circa 1880 addition were replaced.
	2000	Approximate date that the stackable washer/dryer was removed and full washer and dryer were installed in the second-story laundry room.
	2005	<p>Approximate date that a modern corkboard, track lighting, and wall shelf were installed in the dining room along with a painted quotation from the Declaration of Independence and the name "Otis" vertically illustrated on the northwest wall.</p> <p>The modern additions reflect the building's most recent partial use as a Boy Scout meeting place. The former dining room was most likely used as a troop meeting room during its last period of occupancy.</p>

Five: Setting and Landscape

When the Masons still occupied the house in the late nineteenth century, the surrounding landscape was meadow-like and informal. Lush, wooded areas surrounded much of the house, while a casual lawn of high grass met part of the building's southeast and northeast elevations. Fruiting trees and naturally growing shrubs and bushes combined with functional barrel planters and a tiered table for potted plants formed a relaxed setting for the Mason's weekend retreat.

The circa 1900 image of the Otis Tufton Mason House is the only known photograph to date representing the Mason tenure. When combined with previous research, historic maps, and later aerial photography, this photograph provides a more complete view of the changing setting and landscape of the house during the late nineteenth and twentieth centuries.

Aerial photography by Fairfax County provides additional information on the setting of the Otis Tufton Mason House since the Underwood period of ownership. The earliest available photography dates to April 1937 (Figure 16). While imagery around the house clearly depicts open field areas to the east and agricultural buildings to the north, the driveway and immediate surroundings of the house are completely obscured by a canopy of lush vegetation. The house itself is barely visible along the eastern edge of the forested area.



Figure 15. Otis Tufton Mason House, circa 1900

Source: Fairfax County Department of Planning and Zoning

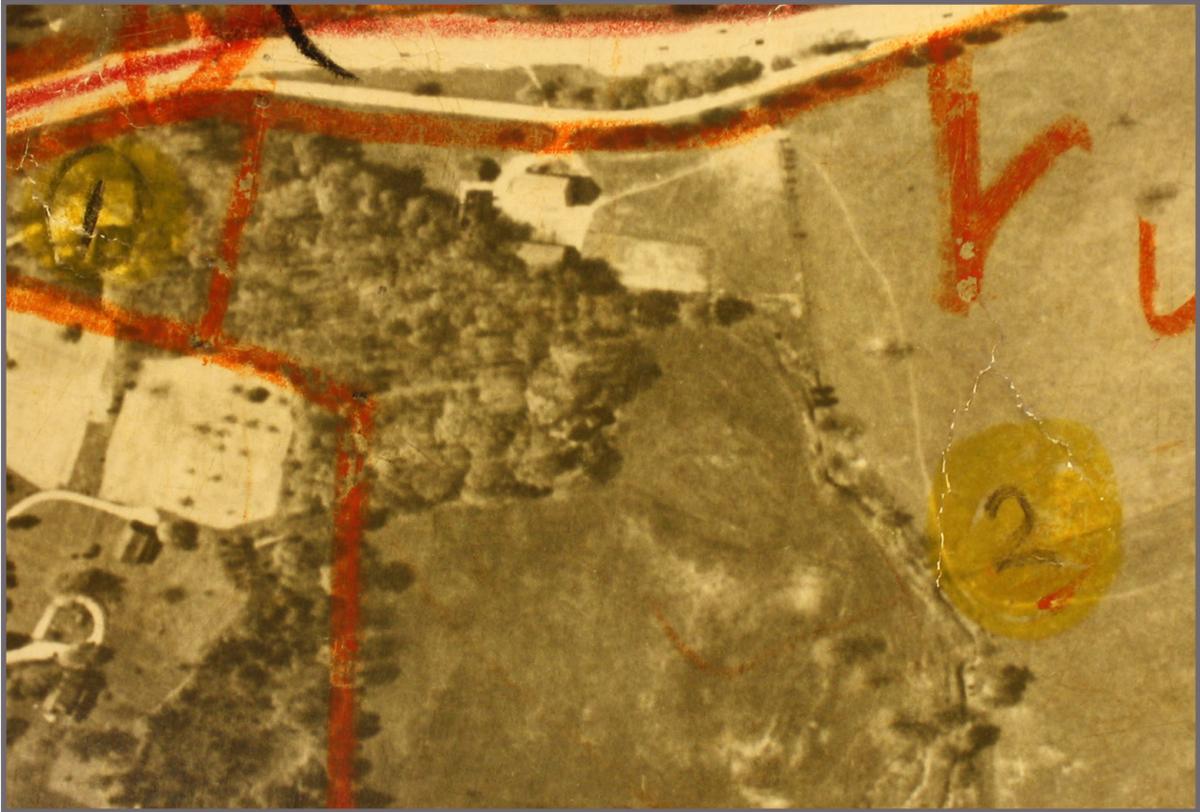


Figure 16. Detail, Aerial Photograph, April 30, 1937

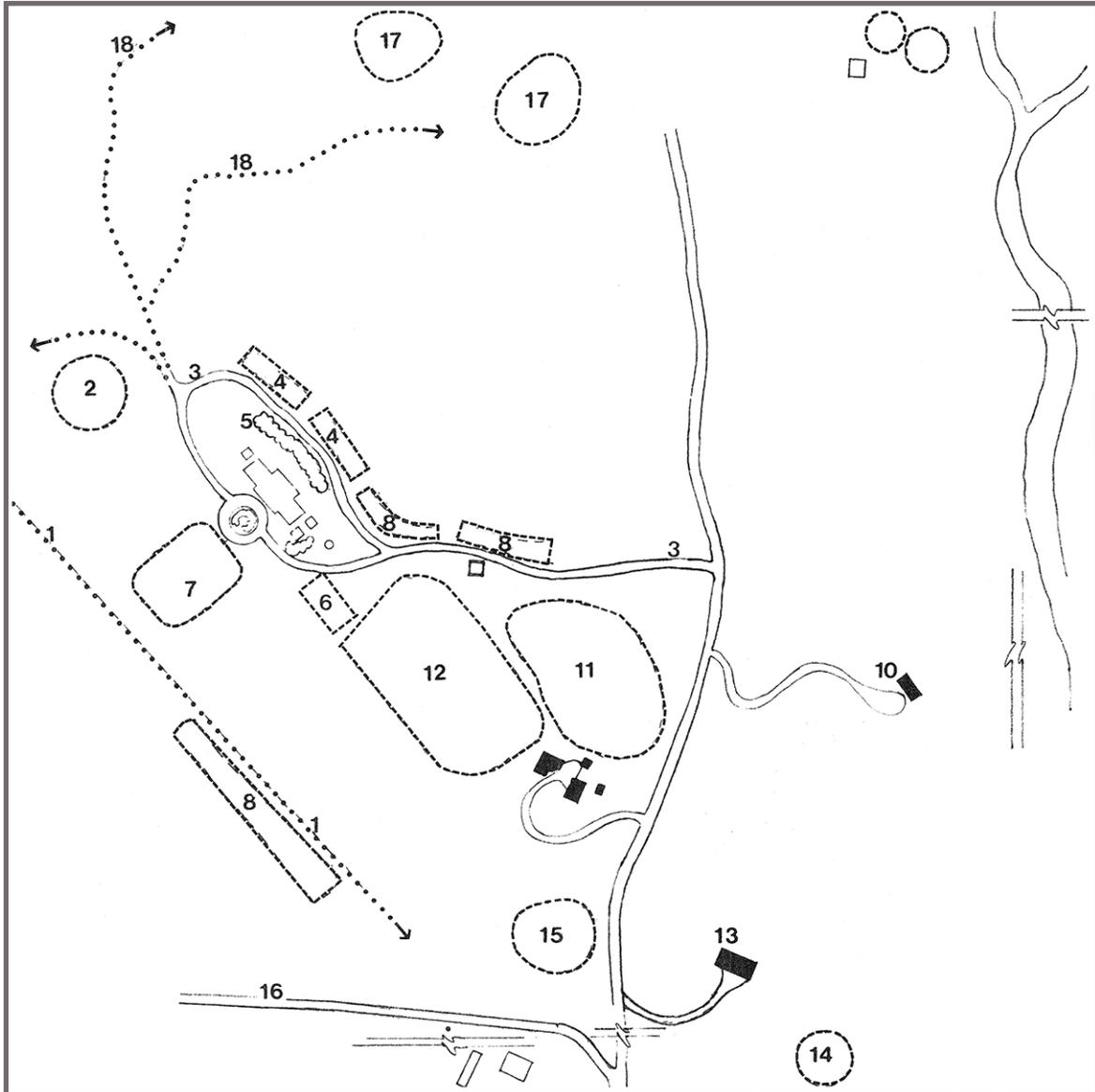
Source: Fairfax County GIS & Mapping Services Branch

While no ground-level images from this period were located during background research, this aerial view may correspond with the few details of setting that were gleaned from the circa 1900, Mason-era photograph. The placement of the house along the edge of the wooded area opens up part of its southeast and northeast elevations to the grassy meadow featured in the foreground of the family photograph. The thick tree canopy enveloping the building to the north and west in the circa 1900 photograph appears similar to that which remains intact in the 1937 aerial.

Though it is difficult to discern the type of vegetation near the house in the 1937 aerial, it is apparent that some trees or bushes do continue around the building's south side before a break exposes part of the southeast and northeast elevations. The fruit-bearing tree present in the circa 1900 photograph could be the same shown alongside the southeast elevation in the 1937 aerial.

ACCESS AND AGRICULTURE

A study by Leslie Plant Mayer in 1981 suggested that the section of the Otis Tufton Mason House driveway closest to the house has remained relatively intact since the building's mid-nineteenth-century construction. A map drawn for the Mayer study shows the winding driveway extending to the then Accotink Turnpike and concluding in an irregular turnaround along the northwest edge of the house (Figure 17). The 1879 Hopkins map, the earliest map that labels the Otis Tufton Mason House, also includes a basic outline for a drive leading to the house (Figure 18). This label, however, appears to lead from a spot slightly farther east along Accotink Turnpike before traveling to the house in a straight, non-winding, path. As it describes a much larger area, the Hopkins map may not provide the most accurate account of drives throughout the vicinity.



(Above) Figure 17. Map 8, Landscape Features of the Mason Period

Source: Leslie Plant Mayer, *Woodlawn Historical Site, Mount Vernon, Virginia*, June 1981



(Left) Figure 18. Detail of the 1879 "Mt. Vernon Dist. No. 3," Map from *Atlas of Fifteen Miles around Washington, including the County of Montgomery, Maryland*

Source: Library of Congress

If Mayer's placement of the driveway during the Mason period of occupancy is correct, it is likely that a bridge has traversed the stream at or near the current crossing since the Otis Tufton Mason House was constructed. This bridge has since been replaced on at least two occasions, with the latest replacement dating to the 1990s. During the 1970s restoration of the house, a cement culvert was also reported at the stream, but by 1975, it had been destroyed (Walker 1974-1976). Large cement pieces still present in the stream today may be the remains of this culvert (Figure 19).



Figure 19. Possible Culvert Remains in Stream, Looking West from Sharpe Stable Complex

With the construction of the Sharpe Stable Complex around 1913, the agricultural buildings were situated atop the former west-curving section of the Otis Tufton Mason House drive (Figure 20). According to Mayer's study, the current arrangement of the driveway matches that which was present during the Sharpe period, with the exception of the island of grass and trees added within the center of the turnaround following the acquisition of the property by the National Trust (Figure 21) (Mayer 1981).

Along with the Sharpe-added agricultural buildings, a large cow pasture was created in the flat area east of the complex and house. During the Underwood tenure, in



Figure 20. Map 12, Landscape Features of the Sharpe Period

Source: Leslie Plant Mayer, *Woodlawn Historical Site, Mount Vernon, Virginia*, June 1981



Figure 21. Map 16, Landscape Features of the National Trust Period

Source: Leslie Plant Mayer, *Woodlawn Historical Site, Mount Vernon, Virginia*, June 1981



Figure 22. Detail, Aerial Photograph, December 17, 1953

Source: Fairfax County GIS & Mapping Services Branch

the 1930s, a cattle pasture was still used, albeit smaller, and the rest of what used to be the larger pasture was used to cultivate alfalfa. When the National Trust took over the property, the flatter areas comprising much of Mason's original tract became used for equestrian activities (Figure 22). Used for polo fields beginning in 1952, the present primary use of the National Trust-owned tract as a riding school with large areas reserved for horse pasturing began in the late 1970s (Mayer 1981).

The current alignment of U.S. Route 1 was also constructed during Sharpe's tenure. The only remaining section of the previous alignment continues to serve as a slightly U-shaped driveway leading into the stable complex. Though traffic has increased along U.S. Route 1 since this realignment, the addition of a trees between the current and previous alignment provides yet another buffer between the Otis Tufton Mason House and the highway (Figure 23).



Figure 23. Previous (Left) and Current (Right) U.S. Route 1 Alignments, Looking West

Aerial imagery of the Otis Tufton Mason House includes a faint path indicating a driveway in 1953 (Figure 24). The only earlier aerial photograph of the house found during research dated to 1937 and was taken in April, during a period of full foliage. Thus, a thick tree canopy prohibits a view of much of the area surrounding the house (see Figure 16). The driveway extended only to the south end of the house in all aerial photographs until 1974, when it looped around the building to the south and east before reconnecting with the previous drive just south of the stream (Figure 25).

Corresponding to the Walker restoration, the driveway was in the process of being reconstituted as a single path with an elliptical turnaround at the house in 1976 (Figure 26). During this reconstruction, one tree was removed



Figure 24. Detail, Aerial Photograph, December 17, 1953

Source: Fairfax County GIS & Mapping Services Branch



Figure 25. Detail, Aerial Photograph, 1974

Source: Fairfax County GIS & Mapping Services Branch

from the driveway area to provide more space (Walker 1974-1976). This drive is clearly visible throughout the 1980s but begins to fade from aerial view in the 1990s (Figures 27 and 28). In recent years, the elliptical end of the drive is barely visible in aerial imagery only during periods of light foliage (Figure 29).

The two-rail, mortised split-rail fence line surrounding much of the Otis Tufton Mason House today began to take its current shape to the south as early as 1978 (Figure 30). By 1984, the line along the building's northwest elevation was in place (Figure 31). The lines to the north and east, partially composed of post and wire, are not as clearly visible as the more substantial wood fence in any aerial views of the property.



Figure 26. Detail, Aerial Photograph, 1976

Source: Fairfax County GIS & Mapping Services Branch



Figure 27. Detail, Aerial Photograph, 1986

Source: Fairfax County GIS & Mapping Services Branch



Figure 28. Detail, Aerial Photograph, 1998

Source: Fairfax County GIS & Mapping Services Branch

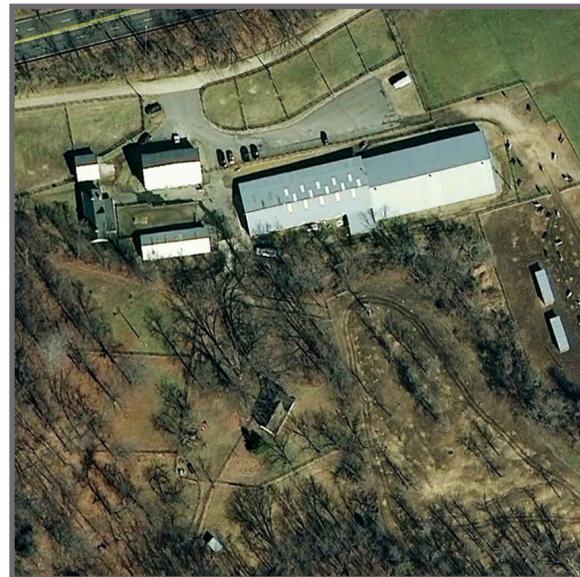


Figure 29. Detail, Aerial Photograph, April 30, 2011

Source: Commonwealth of Virginia, Google Earth



Figure 30. Detail, Aerial Photograph, 1978

Source: Fairfax County GIS & Mapping Services Branch



Figure 31. Detail, Aerial Photograph, 1984

Source: Fairfax County GIS & Mapping Services Branch

PLANTINGS AND DETAILS

The immediate surroundings of the Otis Tufton Mason House contain both planted and unplanted vegetation, including two planted shrubs along the northwest elevation. One shrub, planted in a loose brick planter carries the shrub lies close to the façade (Figure 32). The brick is missing or out of alignment in several places along the low planter wall (Figures 33 and 34). The planter extends southwest to the juncture of the original building and the circa 1880 addition. Two more planted shrubs flank the main entrance (Figure 35). All planted vegetation and planters are non-historic additions to the house.



Figure 32. Planters and Shrubs Along the Northwest Elevation



Figure 33. Looking Southwest



Figure 34. Looking Northeast



Figure 35. Plantings Flanking Main Entrance

During the 1970s restorations by the Walkers, a brick path was identified along the northwest building elevation. Photographs taken near the end of the project revealed a restored brick path linking the driveway to the northwest entrances, façade entrance, and around the southwest elevation to the end of the southeast porch (Figures 36-38). It is unclear if this path extended around the southeast elevation (Figure 39). With the placement of the brick walkway lining at least three elevations, the restoration returned to a relatively cleared immediate periphery similar to that seen in the circa 1880 photograph of the house.

This path was not detectable during site visits for the current study. Laura Walker also noted an additional, similar brick path located south of the stream and west of the driveway. This path was destroyed in 1976 when the stream bed was bulldozed.



Figure 36. Northwest Elevation, circa 1976

Source: National Trust for Historic Preservation



Figure 37. Façade, circa 1976

Source: National Trust for Historic Preservation



Figure 38. Southwest Elevation, circa 1976

Source: National Trust for Historic Preservation



Figure 39. Southeast Elevation, circa 1976

Source: National Trust for Historic Preservation

Also pictured in two of the circa 1976 photographs are concrete globes set northeast of the façade (see Figures 36 and 37). As views of the building from this period depict work in progress, it is unclear if these spheres were to remain at their pictured locations a few feet from the façade, possibly flanking a walkway, or if the spheres were

intended to flank the façade-entrance steps at that time, as they do to date (Figure 40). These globes were once part of gates acquired at the 1907 Jamestown Exposition and installed at Woodlawn Mansion by Elizabeth Sharpe (Figure 41). The gates were removed sometime after the renovation of the gardens at Woodlawn in the 1950s.

The simple wood steps currently leading to the doors on the façade and northwest elevation match those in the 1970s restoration photographs (see Figures 37 and 40). These steps were most likely copied from the circa 1880 Mason photograph, though other details present in this image have not been replicated (see Figure 15).



Figure 40. Façade, Showing Concrete Globes

(Below) Figure 41. Underwood Estate, Woodland [sic]. Gate, Harris & Ewing, Photographer, Between 1925 and 1945

Source: Library of Congress



For instance, planted shrubs now cover much of the façade where wood barrel planters flanked the entrance in the circa 1880 photograph. Also of interest in this photograph is the multi-tiered table of potted plants visible on the southeast porch. Though the types of plants carried on this table are unknown and the table is not in full view, it remains an interesting element of the informal landscape surrounding the Mason’s weekend retreat.

TOPOGRAPHY AND TERRAIN

Constructed within an undulating landscape, the Otis Tufton Mason House sits above relatively flat and gradually rolling expanses to the east (Figures 42 and 43). Though lower than the elevation of Woodlawn Mansion, the house is situated on a hill above areas of horse pasturing and slightly above the Sharpe Stable Complex (Figure 44). U.S. Route 1 and Mount Vernon Memorial Highway lie to the north and east, while streams branching from Dogue Creek to the south and southeast frame these areas. Primarily composed of opened space now used for equestrian purposes, there are few trees found on the roughly 30 acres besides those lining the parcel along



Figure 42. Looking West to Otis Tufton Mason House (Left) and Sharpe Stable Complex (Right)



Figure 43. Looking Northwest to Otis Tufton Mason House



Figure 44. Looking West to Otis Tufton Mason House, Sharpe Stable Complex, U.S. Route 1, and Woodlawn Mansion, (left to right)

the highways and along a road trace that divides horse paddocks to the north and south. However, a paddock enclosure east of the house and the perimeter of the immediate house grounds are lined by a variety of tall trees that prohibit visibility between the house, east paddocks, and highways during periods of full foliage.

Streams from Dogue Creek travel north and east between the flatter open spaces used for horse grazing and outdoor equestrian activities and the relatively wooded paddock just east of the Otis Tufton Mason House (Figure



Figure 45. Modern Aerial Photograph

Source: Google Maps

45). A line of vegetation follows the path of the stream in a north-south direction just west of a paddock that holds a modern water tank and three non-historic, run-in sheds. It continues in an east-west direction immediately south of the large and small stables. The east-west stream arm forms a natural barrier between the Otis Tufton Mason House and the Sharpe Stable Complex.

The Otis Tufton Mason House sits at a higher elevation than the field expanses to the east and slightly higher than the buildings composing the Sharpe Stable Complex to the north. The land farther west to higher elevations (Figures 46-48). From the house, Woodlawn Baptist Church and Cemetery are not visible due to the location of that parcel atop a higher elevation on the opposite side

of a forested, hilly divide of land. From the church property, the buildings are barely visible during winter months between this small but densely wooded area. The undulating topography, however, completely obscures a clear view between the church parcel and stables and Otis Tufton Mason House during much of the year (Figure 49).



Figure 46. Looking North to Otis Tufton Mason House



Figure 47. Looking East to Sharpe Stable Complex (Left) and Otis Tufton Mason House (Right)



Figure 48. Looking Southeast to Otis Tufton Mason House and Horse Pastures



Figure 49. Looking West from Woodlawn Baptist Church Tract

IMMEDIATE SURROUNDINGS TODAY

Of the over 56-acre parcel that the house sits on, about two-thirds are regularly used by the current tenant of the Sharpe Stable Complex (Figure 50). A two-rail, mortised split-rail fence frames the Otis Tufton Mason House's perimeter. A low picket gate opening sits near the west corner of the house, while a single section of the south fence is missing (Figures 51 and 52). This opening leads to a small field with a two-bay, run-in shed. This shed, constructed circa 1970, is not specifically associated with the Otis Tufton Mason House and is not located within its fenced boundary (Figure 53). A post-and-wire fence lined by overgrowing vegetation defines a portion of the eastern edge of the Otis Tufton Mason House rough boundary (Figures 50 and 54). According to staff at Woodlawn Stables, the fencing throughout the property is repaired and replaced where necessary and has been mostly intact since the 1950s. The fencing closest to the Otis Tufton Mason House, however, was installed in the last 40 years.

Though the immediate surroundings of the house are now used by Woodlawn Stables, this modern use of the adjoining acreage has helped the house retain the integrity of its setting. The Otis Tufton Mason House sits in an area of the property where, depending on the time of year, there is little-to-no visibility between it and the busy U.S. Route 1 or nearby development not related to the stables. Surrounded by cleared horse paddocks and wooded areas consisting of both mature and new vegetative growth, the rural setting of the house is maintained despite its now-suburban location.

The high grassy lawn surrounding the house now intermingles with overgrowing mint and other herbs, privet, and planted and unplanted trees. The tall, naturally flowering grass of the early house photograph is not unlike the current, natural meadow-like ground covering surrounding much of the Otis Tufton Mason House. A magnolia tree planted approximately 20 years ago, according to a former resident, now sits amid the tall grass near the building's southwest elevation (see Figures 52 and 53).

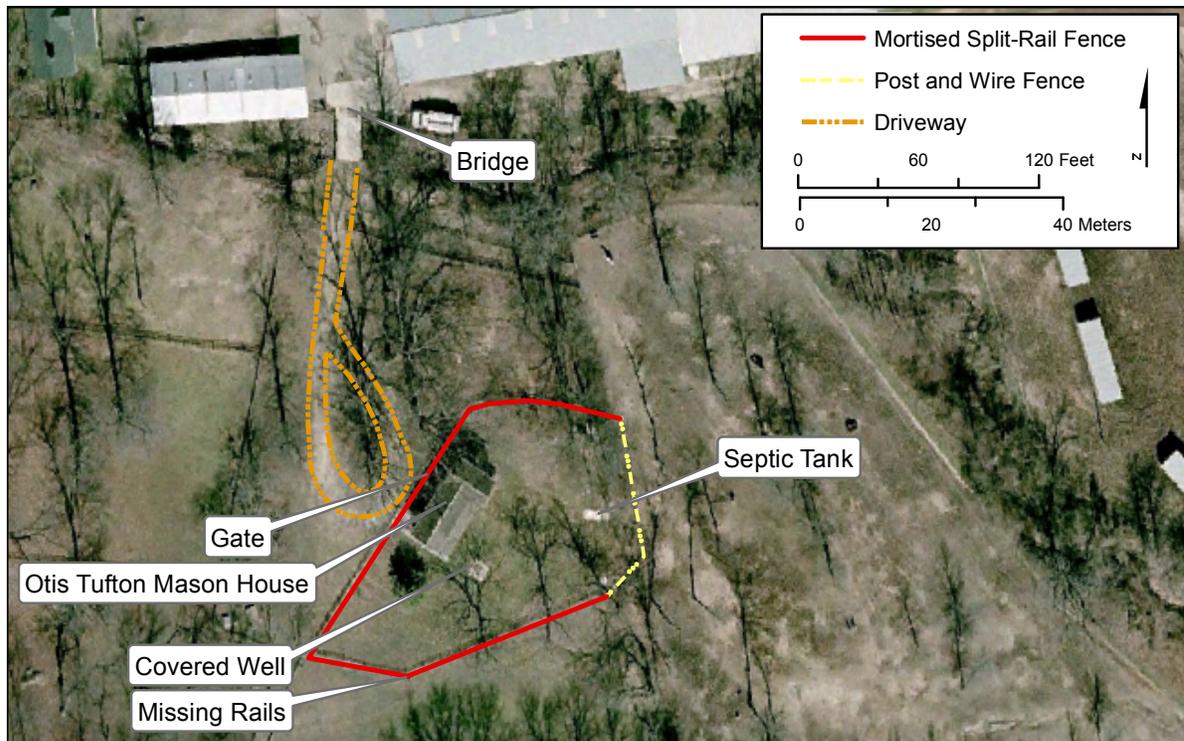


Figure 50. Immediate Setting, Otis Tufton Mason House

Source: NAD 83, UTM Zone 18N; ESRI World Imagery



Figure 51. Gate, Looking Northeast



Figure 52. Fence Break, Looking Southwest



Figure 53. Run-in shed, Looking Southwest



Figure 54. Looking Northeast to Post-and-Wire Fence

A well with a square-shaped cover is located southeast of the house (Figure 55). During 1970s restoration work, a trench was dug to link a new sump pump from the cellar to this well. Another manmade maintenance element is located east of the circa 1880 addition. Covered by a concrete slab and plywood topped with pylons, maintenance files state that this rectangular-shaped area marks that a septic tank was installed at this location in 1968 (Figure 56).

The area just northwest of the fence, which is now primarily used for horse grazing, was once directly associated with the house (Figure 57). Here, what was once the primary, narrow driveway for the house remains flanked by five mature oak trees before looping back south toward the stream bridge (Figures 58 and 59). The driveway trace remains visually detectable from on-site views, though the tree canopy shields visibility from most aerial views (Figure 60).

The setting and immediate landscape surrounding the house has been informal since the building's construction in the mid-nineteenth century. A variety of planters, brick walks, fences, and drives have been placed and replaced within the building's setting since before its oldest known photograph was taken around 1880. These small additions and deletions to the landscape never reflected a high-style, designed setting for the vernacular building. Instead, setting elements reflected both the needs of occupants through time and the building's use at first as a



Figure 55. Looking Southeast to Covered Well



Figure 56. Looking Northeast to Covered Septic Tank

casual, weekend retreat and later as a modest farmhouse and rental home. The formality in the landscaping of other nearby properties is not depicted at the Otis Tufton Mason House, but the combination of naturally growing and planted vegetation with humble decorative landscape elements has remained constant since the nineteenth century.



Figure 57. Looking Northwest to Grazing Area and Otis Tufton Mason House



Figure 58. Driveway, Looking North from Otis Tufton Mason House



Figure 59. Driveway, Looking South to Otis Tufton Mason House



Figure 60. Tree Canopy North and West of Otis Tufton Mason House

Six: Exterior Envelope and Fenestration

The wood-frame Otis Tufton Mason House is clad in wood weatherboard and shiplap siding, while the cross-gabled roof is covered in square-butt cedar shingles. Similar square-butt cedar shingles adorn a single shed-roof porch that spans the southeastern elevation of the rear ell. Two interior corbelled brick chimneys pierce the roof: one in the ridgeline at the juncture of the original building and circa 1873 addition, and another in the gable end of the circa 1880 building section. The following descriptions begin with the house’s façade continuing to its rear. Following this, the porch, roof, cellar, and foundation are described.

EXTERIOR ENVELOPE AND FENESTRATION

		Description
EXTERIOR	<p>The last section of the building was built circa 1880. This northeast-facing addition serves as the building’s current façade.</p>	 <p>Side and Rear Elevations, West Oblique</p>
	<p>The southwestern-most building section dates to circa 1873.</p>	 <p>Northeast Elevation</p>

EXTERIOR ENVELOPE AND FENESTRATION

	Description
<p>EXTERIOR</p>	<p data-bbox="297 1083 703 1184">The original circa 1854 building is now the central portion of the rear ell.</p> <div data-bbox="764 380 1458 814">  <p data-bbox="764 831 951 852">Southeast Elevation</p> </div> <div data-bbox="764 865 1458 1327">  <p data-bbox="764 1344 951 1365">Northwest Elevation</p> </div> <div data-bbox="764 1377 1458 1839">  <p data-bbox="764 1848 1211 1869">Closeup of Central Portion, Southeast Elevation</p> </div>

CIRCA 1880 ADDITION

Description

CIRCA 1880 ADDITION

The circa 1880 balloon-framed ell measures approximately 21' wide across the façade and about 14' along the single-pile side elevations. Wood shiplap siding covers all exposed exterior walls of this building section. The façade includes a symmetrical bay arrangement, with three bays on the first story and two on the second. First- and second-story windows are aligned with first-story bays flanking a centrally set entrance bay.



East Oblique



Northeast Elevation

Six: Exterior Envelope and Fenestration

CIRCA 1880 ADDITION

	Description
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">CIRCA 1880 ADDITION</p>	<p>The north and east corners include slender wood corner boards, while the southeast elevation has a single bay of two centrally set upper- and lower-story windows.</p>  <p>Southeast Elevation</p>
	<p>The northwest elevation's two-window bay is offset closer the building's north corner.</p>  <p>Northwest Elevation</p>
	<p>A square, poured concrete landing leads to a short stair of three wood steps flanked decorative concrete globes. Atop the steps is a replaced, wood, four-paneled door that sits behind a modern vinyl storm door.</p>  <p>Façade Entrance</p>

CIRCA 1880 ADDITION

Description

On this building section, all windows are vertical two-over-two wood sash, with most set behind modern vinyl storm windows. In the lower sash of the northernmost window on the lower story is a detached air conditioning unit. Simple wood surrounds with slender sills and hoods frame the windows and doors.



Southernmost Window, Façade First Story



Southernmost Window, Façade Second Story

CIRCA 1880 ADDITION



Northernmost Window, Façade Second Story



First-Story Window, Southeast Elevation



Second-Story Window, Southeast Elevation



First-Story Window, Northwest Elevation



Second-Story Window, Northwest Elevation



Northernmost Window, Façade First Story

Six: Exterior Envelope and Fenestration

CIRCA 1880 ADDITION

	Description
CIRCA 1880 ADDITION	<p data-bbox="293 646 716 751">The original building section primarily covers the southwest elevation of the circa 1880 addition.</p>  <p data-bbox="865 972 1003 993">South Oblique</p>

FIRST PHASE OF CONSTRUCTION

	Description
FIRST PHASE OF CONSTRUCTION	<p data-bbox="293 1333 716 1766">The roughly 16" x 14'4" balloon-framed central building section, constructed circa 1854, defines the building's first phase of construction. Following the second and third phases of construction, the building's first façade was lost and is no longer detectable. Side elevations of the first building section are completely obscured by the second and third building additions.</p>  <p data-bbox="834 1837 1024 1858">Southeast Elevation</p>

FIRST PHASE OF CONSTRUCTION

		Description
FIRST PHASE OF CONSTRUCTION	<p>Both the southeast and northwest elevations host entrance doors, but only the southeast elevation features symmetrical bays. The symmetrical arrangement of the southeast elevation may indicate the location of the building's first façade. The three symmetrical bays of the southeast elevation sit below the shed-roof porch. The fenestration arrangement is similar to that on the façade, with two two-story window bays flanking a single-story entrance bay.</p>	 <p>Northwest Elevation</p>
	<p>While the northwest elevation lacks a break to help aid in weather protection, the break in the southeast siding aids in identifying separate phases of construction.</p>	 <p>Break at Porch Ceiling</p>  <p>Break at Porch Floor</p>
	<p>The juncture of the original and the circa 1880 building sections juxtaposes wood weatherboard siding with the shiplap siding of the later addition, giving yet another clue to the phases of construction.</p>	 <p>Looking North</p>

FIRST PHASE OF CONSTRUCTION

	Description
FIRST PHASE OF CONSTRUCTION	<p data-bbox="293 604 699 747">A single wood step leads from the porch floor to the four-paneled wood entrance door set behind a modern vinyl storm door.</p>  <p data-bbox="878 947 1154 968">Southeast Elevation Entrance</p>
	<p data-bbox="293 1381 699 1556">Windows on this and the northwest elevation are composed of six-over-six wood sash, sometimes set behind modern storm windows or screens.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="753 1014 1065 1423">  <p data-bbox="753 1430 1065 1451">Northernmost Window, First Story</p> </div> <div data-bbox="1101 1014 1412 1423">  <p data-bbox="1101 1430 1412 1451">Southernmost Window, First Story</p> </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div data-bbox="753 1465 1065 1875">  <p data-bbox="753 1885 1065 1934">Northernmost Window, Second Story</p> </div> <div data-bbox="1101 1465 1412 1875">  <p data-bbox="1101 1885 1412 1934">Southernmost Window, Second Story</p> </div> </div>

FIRST PHASE OF CONSTRUCTION

		Description	
FIRST PHASE OF CONSTRUCTION	<p>Two wood steps lead to the recovered, four-paned wood entrance on the northwest elevation. An aluminum storm door covers the entrance. The door and window surrounds on this section are identical to those on the circa 1880 addition.</p>		
		<p>Entrance Door, Northwest Elevation</p>	<p>First-Story Fenestration Configuration, Northwest Elevation</p>
	<p>The window bay sits immediately south of the entrance.</p>		
		<p>First-Story Window</p>	<p>Second-Story Window</p>

CIRCA 1873 ADDITION

Description

CIRCA 1873 ADDITION

The small, approximately 14" x 14'4" addition was constructed along the southwest elevation of the original building circa 1873. This second phase of construction includes two additional entrances on the southeast and northwest elevations, as well as the rear elevation of the entire Otis Tufton Mason House.



Southeast Elevation



Northwest Elevation



South Oblique

CIRCA 1873 ADDITION

CIRCA 1873 ADDITION

Description

The southeast elevation is divided into two bays. The southernmost bay features an entrance on the first story and window on the second. A single, low wood step leads from the porch floor to the six-light, paneled wood door. The door is covered by a vinyl storm door. The northernmost bay includes a first- and second-story window. The three windows on this elevation, as well as those on the northwest and southwest elevations, include a six-over-six wood sash composition. Some sash are covered by vinyl storm windows or aluminum screen. All doors and windows on this addition include simple surrounds identical to those on the circa 1854 and 1880 building sections.



Entrance



Second-Story Window



First-Story Window



Second-Story Window

Six: Exterior Envelope and Fenestration

CIRCA 1873 ADDITION

Description

The northwest elevation features a similar arrangement with a two-bay composition. However, on this elevation, a first-story entrance solely composes the southernmost bay, while the northernmost bay includes two windows. The four-panel wood door sits behind an aluminum storm door and is devoid of access steps.



First-Story Fenestration



Entrance



Second-Story Window



First-Story Window

CIRCA 1873 ADDITION

	Description
CIRCA 1873 ADDITION	<p>The rear, or southwest, elevation includes a centrally set bay of two windows marking the first and second floors.</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>First-Story Window</p> </div> <div style="text-align: center;">  <p>Second-Story Window</p> </div> </div>

PORCH

	Description
PORCH	<p>Six slender, chamfered wood posts carry a shed porch roof along the southeast elevation of the circa 1854 and 1873 portions of the house. The porch roof is clad in square-butt cedar shingles. The southwest shed end is clad in wood shiplap siding.</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>South Oblique</p> </div> <div style="text-align: center;">  <p>Chamfered Post Support at Ceiling Joist</p> </div> <div style="text-align: center;">  <p>Chamfered Post Support at Floor</p> </div> </div>

PORCH

	Description
PORCH	<p data-bbox="293 646 683 785">A pre-1970s concrete step lines the southeast edge of the porch floor, wrapping around the south corner.</p> <div data-bbox="695 409 1010 995">A photograph showing a perspective view of a porch with a concrete step along the edge. The porch floor is made of weathered wooden planks. A white support post is visible in the foreground, and a rusty metal cage stands nearby. The background shows green grass and trees.</div> <p data-bbox="695 1010 878 1037">Looking Southwest</p> <div data-bbox="1031 409 1425 995">A close-up photograph of a concrete step at the corner of a porch. The step is bordered by a concrete curb. To the right, a white support post is visible. The area is overgrown with green bushes and tall grass.</div> <p data-bbox="1031 1010 1230 1037">Step at South Corner</p>
PORCH	<p data-bbox="293 1398 691 1612">At the south end of the porch, fronting the door bay of the circa 1873 addition, the floor is topped by plywood. Roof framing rafters and joists are exposed at the porch ceiling.</p> <div data-bbox="870 1108 1365 1843">A photograph looking down the length of a porch towards a second-story window. The porch floor is made of plywood. The ceiling shows exposed wooden rafters and joists. A white support post is on the left, and a rusty metal cage is in the foreground. The house has light-colored horizontal siding.</div> <p data-bbox="870 1858 1084 1885">Second-Story Window</p>

ROOF

	Description
<p>ROOF</p>	<p>Two gabled ells compose the cross-gabled roof. The two earliest building sections lie below a now-seamless northeast-southwest gable. The circa 1880 side-gabled ell creates the building's L shape, and has a northwest-southeast configuration. The roof is covered in square-butt cedar shingles.</p> <div data-bbox="695 352 1386 814" data-label="Image"> </div> <div data-bbox="695 814 837 844" data-label="Caption"> <p>Looking North</p> </div> <div data-bbox="695 856 1386 1318" data-label="Image"> </div> <div data-bbox="695 1327 883 1356" data-label="Caption"> <p>Looking Northwest</p> </div>
	<p>The earlier corbeled brick chimney is located in what was originally the interior southwest gable end of the building's first phase of construction.</p> <div data-bbox="695 1386 1386 1848" data-label="Image"> </div> <div data-bbox="695 1856 886 1885" data-label="Caption"> <p>Circa 1854 Chimney</p> </div>

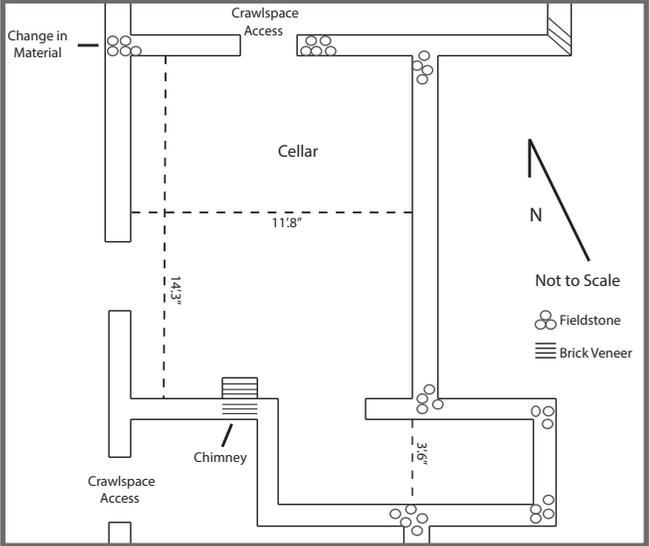
ROOF

	Description
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">ROOF</p>	<p data-bbox="293 531 683 709">A second interior corbeled brick chimney was added circa 1880 at the northwest gable end of the latest ell. This chimney has a modern, capped metal flue pipe.</p>  <p data-bbox="743 846 1260 873">Circa 1880 Chimney (Left) and Original Chimney (Right)</p>
	<p data-bbox="293 968 1203 999">Four copper lightning rods with attached cables are present in roof ridgeline.</p> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;">  <p data-bbox="321 1430 711 1455">Southeast Gable End, Looking Northwest</p> </div> <div style="width: 50%;">  <p data-bbox="886 1430 1243 1455">Original Chimney, Looking Northwest</p> </div> <div style="width: 50%;">  <p data-bbox="321 1843 630 1869">Central Ridgeline, Looking North</p> </div> <div style="width: 50%;">  <p data-bbox="886 1843 1227 1869">Southeast Gable End, Looking North</p> </div> </div>

ROOF

Description	
ROOF	<p>A metal sanitary pipe, modern gutters and downspouts, and a modern satellite dish attached to the southeast gable are among the addition, non-historic roof elements.</p> <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Southeast Gable, Looking North</p> </div> <div style="text-align: center;">  <p>Circa 1854 and 1880 Roof Juncture, Looking Northwest</p> </div> </div>

CELLAR

Description	
CELLAR	<p>Constructed circa 1854, the small cellar is part of the oldest building section.</p> <div style="text-align: center;">  <p>Cellar Floor Plan</p> </div>

Six: Exterior Envelope and Fenestration

CELLAR

	Description	
CELLAR	<p>The roughly 14'-3" x 11'-8" cellar has a post-1930s poured concrete floor and fieldstone foundation walls. While fieldstone walls may have initially been dry laid, mortar and plaster patching both between and atop stones is evident.</p>  <p>Looking Northeast</p>	 <p>From Stair Landing, Looking North</p>
	<p>The reestablished access point and relocated wood stairs remain intact via the trap door in the porch floor. The stairwell measures approximately 3'-6" wide.</p> <p>The southeast fieldstone wall behind the relocated stairs slopes downward below the stairs from the porch access point to the cellar floor. This arrangement may indicate that these fieldstones were laid as such to further support the original set of stairs. The stairs now rest atop a rectangular concrete slab that does not appear to be attached to the cellar floor.</p>  <p>View Down into Cellar</p>  <p>View Looking Up to Porch From Cellar</p>	

CELLAR

		Description
CELLAR	<p>The trap door is located in the porch floor on the southeast elevation, immediately southwest of the juncture of the circa 1854 and 1873 building section.</p>	 <p>Porch Floor, Southeast Elevation</p>
	<p>The cellar door is attached to the porch floor via three short, tapered iron strap hinges and secured by a metal hasp.</p>	 <p>Iron Strap Hinges</p>
	<p>No pin or padlock was present during the site visits for the current study. The door is made operable by a thick rope handle.</p>	 <p>Rope Handle</p>

CELLAR

	Description
CELLAR	<p>Original and replacement structural members supporting the central portion of the building are visible from the cellar interior. From the cellar, notches in hand-hewn sills show the location of original hand-hewn sills alongside later-installed replacement joists.</p>  <p>Central Support</p>
	<p>An intact log girder with a flattened upper face supporting the circa 1880 addition is visible from the cellar via a small crawlspace. This crawlspace is not mentioned in the Walker or Owens notes or drawings, though it does appear to predate both. It is possible that this opening once held a two-light wood window similar to that still present in the northwest wall.</p>  <p>Looking Northeast</p>  <p>Looking North</p>

CELLAR

Description

Non-historic, replacement bricks compose the section of the chimney visible from the cellar interior.

Modern updates and appliances located in the cellar include a water heater, electrical panel, a light fixture and switch, and rolled fiberglass insulation.



Looking South to Stair



Looking West

CELLAR

No stove is currently attached to the chimney, though the presence of a thimble within the chimney's northeast face suggests that such did exist in the cellar at some point.

The sump pump installed in 1975 is located at the east corner of the cellar floor. It is connected to a covered well located southeast of the house.



Looking South to Stair



Looking Southeast

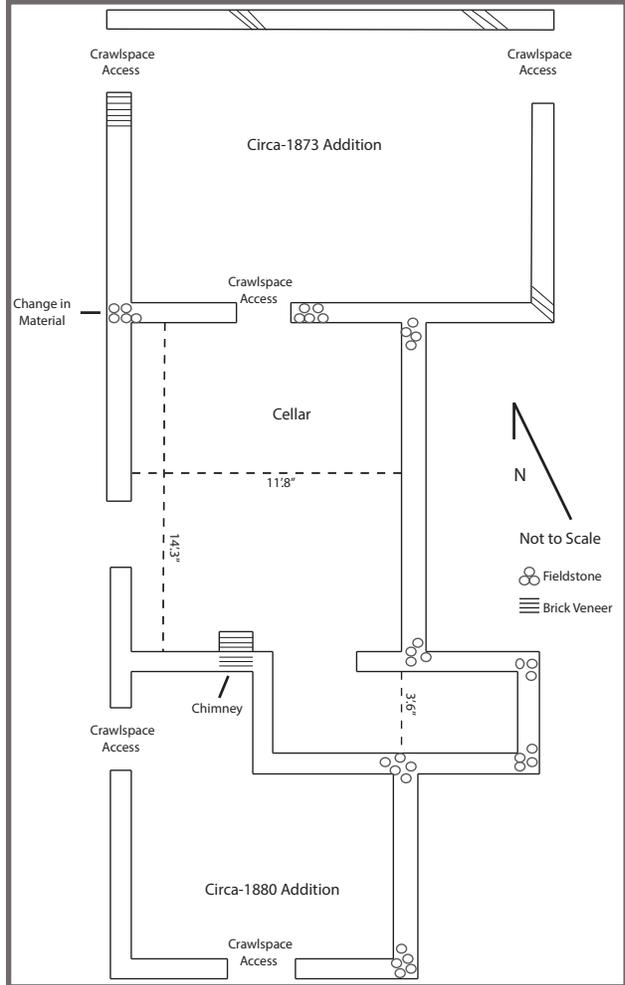
Six: Exterior Envelope and Fenestration

FOUNDATION

FOUNDATION

Description

A fieldstone foundation repointed in 1975 supports the two earlier building sections, while the northeast ell is a combination of materials as a result of 1970s and 1990s repairs. Brick veneer covers the foundation of the circa 1880 addition.



Foundation Plan



Foundation at Circa 1880 and Circa 1854 Juncture



Circa 1880 Addition Foundation

FOUNDATION

	Description	
FOUNDATION	<p>Access points for crawlspaces are located below the southwest and northwest elevations of the circa 1873 addition, and in the northwest and southeast elevations of the circa 1880 addition. A single trap door in the southeast porch floor leads to a cellar below the original building.</p>	
	 A photograph showing a close-up of the exterior wall of a building with white, peeling horizontal siding. A small, dark opening is visible at the base of the wall, partially obscured by green foliage.	 A photograph showing a close-up of the exterior wall of a building with white, peeling horizontal siding. A small, dark opening is visible at the base of the wall, surrounded by tall, dry grass and other vegetation.
	 A photograph showing a close-up of the exterior wall of a building with white, peeling horizontal siding. A small, dark opening is visible at the base of the wall, next to a white downspout pipe. The ground is covered with rocks and debris.	 A photograph showing a close-up of the exterior wall of a building with white, peeling horizontal siding. A small, dark opening is visible at the base of the wall, surrounded by tall, dry grass and other vegetation.
	<p>Northwest Elevation Access, Circa 1873 Addition</p>	<p>Southwest Elevation Access, Circa 1873 Addition</p>

Northwest Elevation Access, Circa 1873 Addition

Southwest Elevation Access, Circa 1873 Addition

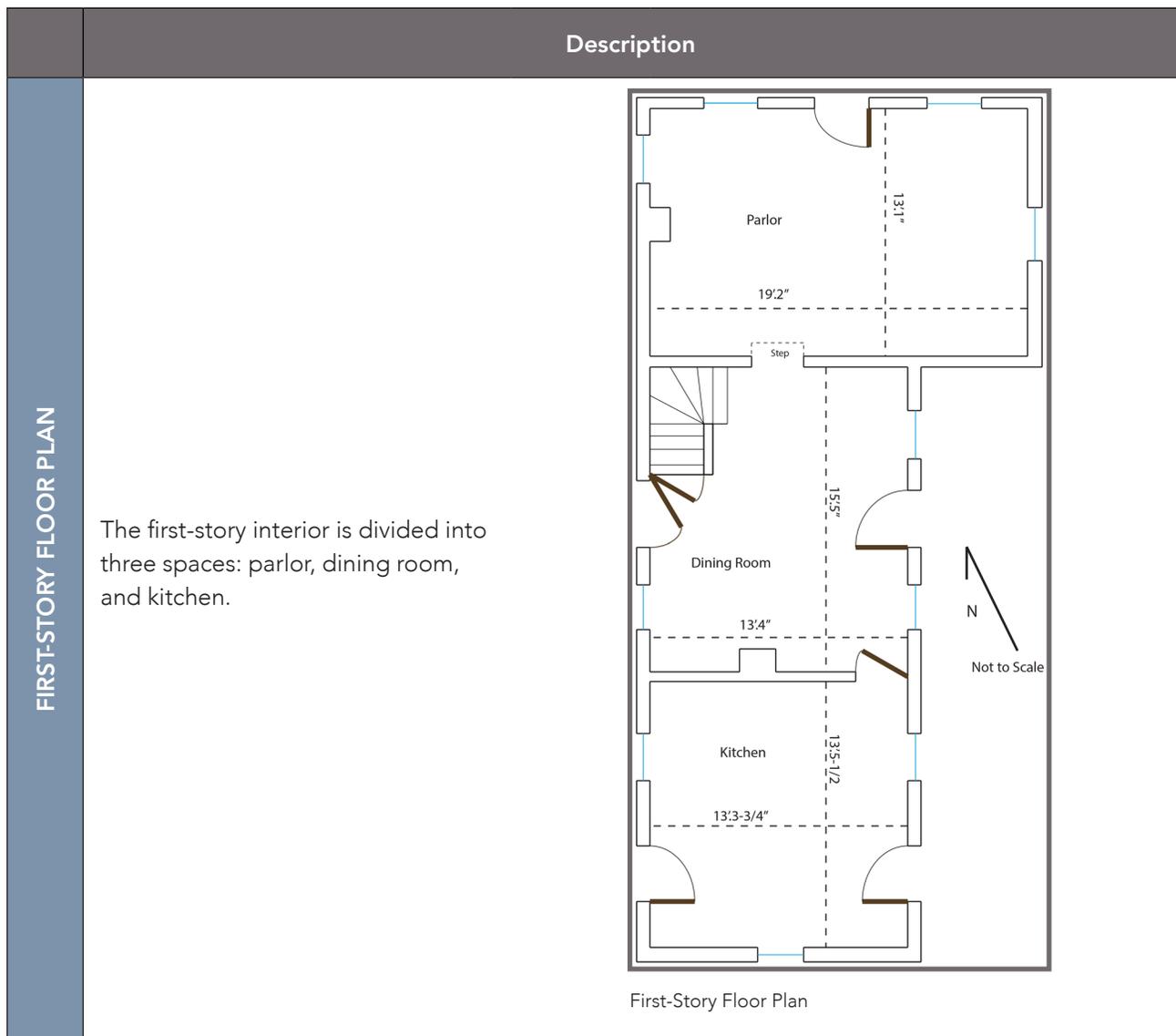
Northwest Elevation Access, Circa 1880 Addition

Southeast Elevation Access, Circa 1880 Addition

Seven: House Interior

This house includes a parlor, middle or dining room, and kitchen on the first floor; three bedrooms, a bathroom, a laundry room, and hallways on the second floor; and two attic spaces. Descriptions begin at the current entry room, the parlor, and continue through the middle, or dining room, then into the kitchen. The stairwell description leads to the second-story main hall, before continuing with the two bedrooms and hallway composing the second story of the circa 1880 ell. The bathroom and laundry room will follow, while the rear bedroom will conclude the second-story description. Attic spaces accessed from the rear and north corner bedrooms are described with those rooms.

FIRST FLOOR



SEVEN: Interior of the House

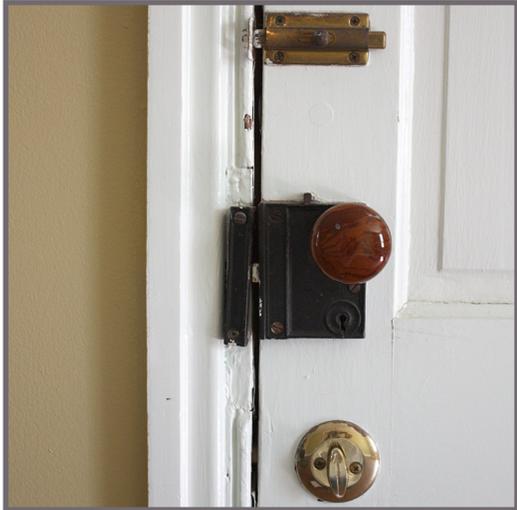
FIRST FLOOR

	Description
PARLOR	<p>By the 1970s restoration, the approximately 19'-2" x 13'-1" primary entrance room was referred to as the "Parlor". The parlor composes the first floor of the circa 1880 gabled ell addition. Walls and ceilings are finished in drywall. Various modern cable, telephone, and power outlets, a light switch, and an air conditioning dial are set within the drywall throughout the room. The ceiling height varies slightly between 7'-7" and 7'-10" throughout the room. A non-historic metal vent and centrally set ceiling fan are located in the ceiling.</p>  <p>Northwest Wall</p>  <p>South Corner</p>  <p>West Corner</p>

FIRST FLOOR

	Description
<p>PARLOR</p>	<p>The current interior view presents plank wood flooring framed by an approximately 6" baseboard with a 1" quarter-round base trim. A slightly shorter baseboard frames the chimney base. Foam insulation has been sprayed at the baseboard/floor juncture at the west corner of the room, and continues up the west edge of the chimney/wall juncture.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="784 338 1333 705">  </div> <div data-bbox="784 705 914 737"> <p>South Corner</p> </div> <div data-bbox="784 737 1333 1104">  </div> <div data-bbox="784 1104 914 1136"> <p>West Corner</p> </div> </div>
	<p>A thin square wood trim lines the wall and ceiling at the chimney. The stove is a non-historic replacement attached to the brick chimney at the northwest wall. The stove and the tile base on which it sits were likely installed during the 1970s restoration, though no record of such was located during background research.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="784 1150 1333 1860">  </div> <div data-bbox="784 1860 971 1892"> <p>Looking Northwest</p> </div> </div>

FIRST FLOOR

	Description
PARLOR	<p>From the parlor, the dining room is accessed by a single step set at the base of a stepped wood casing-framed doorway whose door has been removed. Door hardware evidence is visible from the dining room.</p>
	<p>The four-panel wood front door framed by a simple, stepped wood casing in the northeast wall includes a rim lock that was added in the 1970s with a glazed redware knob. A non-historic deadbolt and standard latch lock are also present on this door.</p> <div data-bbox="295 779 812 1289"></div> <div data-bbox="295 1289 643 1318"><p>Latch, Rim lock, and Deadbolt Locks</p></div> <div data-bbox="896 497 1432 1283"></div> <div data-bbox="889 1289 1075 1318"><p>Looking Northeast</p></div>
	<p>Simple wood jambs and sills surround windows. Attached to the baseboard below each window is an electric heater added during the 1970s restoration.</p> <div data-bbox="295 1465 812 1908"></div> <div data-bbox="295 1927 522 1957"><p>Northeast Wall Window</p></div> <div data-bbox="896 1465 1432 1908"></div> <div data-bbox="889 1927 1127 1957"><p>Northwest Wall Window</p></div>

FIRST FLOOR

	Description
<p>DINING ROOM</p>	<p>The first floor of the circa 1854 building section was referred to as the dining room by the time of the 1970s restoration and measures roughly 15'-5" x 13'-4", which includes an approximately 3'-4¾" x 6'-4¼" staircase leading to the second floor along the northwest wall.</p> <p>The ceiling height measures 7'-2" throughout the room. A metal floor vent and modern ceiling light fixture are located just northwest of the chimney.</p> <p>Drywall covers the walls and ceiling of the dining room.</p> <p>Attached to the baseboard below each southeast wall window and below the added southwest wall shelf is an electric heater added during the 1970s restoration. Various modern cable, telephone, and power outlets, a light switch, and an air conditioning dial are set within the drywall throughout the room. From the cellar, notched sills are visible that indicate the size and placement of log joists of the original floor.</p> <p>A large, modern corkboard framed on two sides sits immediately above the baseboard on the northwest wall and reaches almost to the ceiling. Directly above the corkboard, modern track lighting was added consisting of three lights.</p>
	 <p>Looking West</p>
	 <p>Looking South</p>
	 <p>Looking East</p>
	 <p>Looking North</p>

FIRST FLOOR

	Description
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">DINING ROOM</p>	<p>Chamfered baseboards are 1" x 6" with a 1" quarter-round molding resting on wood plank floors.</p>  <p>Baseboard at Chimney and Southwest Wall Juncture</p>
	<p>The winding stairwell includes one step in the dining room, four winders, and five steps in the main run. The tread run of the stairs is approximately 8 1/2", with winders varying and a riser height of about 8 9/16" in the roughly 2'-11" x 6'-4" interior stairwell space. An irregularly shaped baseboard follows the stair angle to the second story. A low wood railing lines the southeast floor edge of the stairwell.</p>  <p>Main Run</p>  <p>Base of Stairs</p>  <p>Railing</p>

FIRST FLOOR

		Description	
DINING ROOM	<p>Hardware and evidence of hardware suggests that a door was installed at the second step. That door has since been removed.</p>		
		Hardware	Evidence of Hardware
	<p>A closet is located below the stairs. Enclosing the closet is a trimmed, four-paneled wood door. The door is hung with metal hinges and accessed by a metal rim lock with a redware knob. A single wood closet rod extends the width of the closet interior. Three painted, angled framing members are visible from the closet's interior.</p>		
		Closet Interior	Stairwell Closet
			
		Hardware	Hinge

SEVEN: Interior of the House

FIRST FLOOR

		Description	
DINING ROOM		<p>The chimney thimble has been filled in. A simple line of square trim frames the chimney at the southwest wall, while crown molding serves as its ceiling trim. The chimney, unlike that in the parlor, has no stove and no baseboard.</p>	
			<p>Looking West</p> <p>Looking South</p>
			
		<p>Top of Shelf</p> <p>To the right of the chimney is a non-historic shelf that runs the length of that section of the southwest wall, slightly wrapping around to attach to the northwest wall.</p>	
			<p>Along Southwest Wall</p>

FIRST FLOOR

Description

All three intact, full-size doors are in working order, constructed of wood, and feature a four-paneled, windowless arrangement. Simple wood jambs, sills, and thresholds surround the dining room windows and doors. While evidence of a rim lock is intact on the southeast door, only a metal handle, deadbolt lock, and its original hinges remain.

DINING ROOM



Hinge



Southeast Door



Evidence of Rim lock



Threshold

SEVEN: Interior of the House

FIRST FLOOR

		Description
DINING ROOM	<p>Original hinges and a metal rim lock with a redware knob are both present on the northwest door along with two metal deadbolt locks.</p>	 <p>A photograph of a yellow-painted door with a metal rim lock and a redware knob. The door is set in a doorway with yellow walls.</p>
	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Rim lock</p> </div> <div style="text-align: center;">  <p>Hinge</p> </div> </div>	<p>Northwest Door</p>
	<p>Hinged on the dining room side, the door leading to the kitchen also maintains its metal rim lock with a redware knob.</p>	 <p>A photograph of a white door with yellow paint splatters. It features a metal rim lock with a redware knob. The door is set in a doorway with yellow walls.</p>
	<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Hinge</p> </div> <div style="text-align: center;">  <p>Rim lock</p> </div> </div>	<p>Southwest Wall</p>

FIRST FLOOR

Description

The circa 1873 kitchen measures roughly 13'-5½" x 13'-3¾". Non-historic cabinets cover the southwest wall and the lower portion of the southwest window. The cabinets are clad in a vertical board veneer and include 1970s metal hardware. A modern, metal-hooded stove and dishwasher sit within the wall of cabinets. Below the cabinets, two salvaged trimmed, painted tongue-and-groove boards cover the cabinet base. Upper cabinets are set approximately two feet above the Formica countertops. Small, open corner shelves flank the southwest window. A recessed light above the sink and under-cabinet lights are also present along the wall. Electric heaters were attached immediately above the quarter round below the northwest and southeast windows in the 1970s. Various modern telephone jacks, power outlets, light switches, and a thermostat are set in the walls throughout the room.

A recessed light above the sink and under-cabinet lights are also present along the wall. Electric heaters were attached immediately above the quarter round below the northwest and southeast windows in the 1970s. Various modern telephone jacks, power outlets, light switches, and a thermostat are set in the walls throughout the room.

KITCHEN



Looking East



Looking North



Looking West



Tongue-and-Groove Boards



Looking South

SEVEN: Interior of the House

FIRST FLOOR

	Description
KITCHEN	<p>Replacement wood plank flooring is framed by 1" quarter-round molding.</p>  <p>Southeast Wall</p>
	<p>A metal vent marks the former location of an appliance in the room's north corner.</p>  <p>Metal Vent</p>
	<p>Random-width, yellow pine floorboards cover the kitchen walls and ceiling. Small beads of sprayed insulation have been applied in some places along the southeast kitchen wall. An unusually high chair rail is located approximately 3'10" from floor level on all four walls of the kitchen.</p>    <p>Southeast Wall Northwest Wall Northeast Wall</p>

FIRST FLOOR

Description

Exposed joists compose the ceiling, which has a full height of 7'-10" and 7'2" to joist base. Joists are spaced 1'-9½" apart from one another. Above the stove, a joist-framed patch in the ceiling is covered in plywood. A non-historic, centrally set ceiling fan is located in the ceiling.



Looking East



Ceiling Patch

A large Real Apollo stove from W.S. Jenks & Son of Washington, D.C. is centrally set along the northeast wall. The stove sits atop a pad of quarry tiles and plywood. Some damage is evident in the tiles.

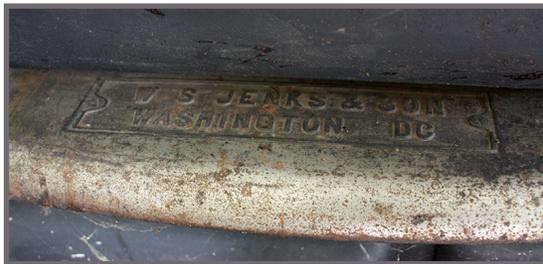
KITCHEN



Looking Northeast



Looking Northwest



Attached Dealer Plate



Stove Name Panel

FIRST FLOOR

	Description	
KITCHEN	<p>The northwest, four-paneled wood door includes a rim lock. The knob of the rim lock is now missing, and two non-historic metal deadbolt locks were installed above and below the rim lock. The door hangs on non-historic metal hinges.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="305 661 592 1071"> </div> <div data-bbox="609 661 950 1071"> </div> </div>	
	<p>The southeast door features six fixed lights above three wood panels and is not original to the house or its additions. This door includes non-historic metal hinges, a deadbolt lock, and a knob lockset. Simple wood jambs, sills, and thresholds surround the dining room windows and doors.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="305 1459 592 1879"> </div> <div data-bbox="609 1459 901 1879"> </div> </div>	

Door Locks

Hinge

Northwest Door

Door Locks

Hinge

Southeast Door

SECOND FLOOR

	Description
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">SECOND-STORY FLOOR PLAN</p>	<p>The second story is divided into smaller, private spaces, such as bedrooms, a bathroom, and a laundry room. These spaces are divided and discussed by periods of construction.</p> <p style="text-align: center;">Second-Story Floor Plan</p>

SEVEN: Interior of the House

SECOND FLOOR

	Description
	<p>Constructed at the same time as the parlor, the building methods used in the small room, larger room, and small hall that comprise the second story of the circa 1800 addition match that of the lower story.</p>
<p>CIRCA 1880 ADDITION</p>	<p>Though the chimney is located in the small room, no stove is currently present in this roughly 9'-9" x 9'-3" space. The thimble is covered by a decorative painted tin plate. The small hall space joining the smaller and larger rooms creates a roughly 3'-3" x 3'-11" space at the small room's west corner, giving the room an irregular L shape.</p> <p>Drywall currently covers the walls and ceilings of the two rooms, as well as the chimney in the smaller room.</p> <div data-bbox="781 552 1344 1388" data-label="Image"> </div> <p data-bbox="787 1398 927 1423">Looking South</p> <div data-bbox="295 1455 841 1843" data-label="Image"> </div> <p data-bbox="302 1858 435 1883">Looking West</p> <div data-bbox="881 1455 1446 1843" data-label="Image"> </div> <p data-bbox="883 1858 1019 1883">Looking North</p>

SECOND FLOOR

	Description
<p>CIRCA 1880 ADDITION</p>	<p>The four-paneled, wood door in the smaller room includes a metal rim lock with a redware knob and metal hinges. Much of the trim in these rooms matches that on the first floor of this section. However, the door in the smaller room features more decorative, beaded interior trim. Layers of paint applied to this door frame leave the bead nearly invisible in some places.</p> <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>View from Room</p> </div> <div style="text-align: center;">  <p>View from Hall</p> </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div style="text-align: center;">  <p>Beaded Door Trim</p> </div> <div style="text-align: center;">  <p>Beaded Door Trim Where Barely Visible</p> </div> <div style="text-align: center;">  <p>Hinge</p> </div> <div style="text-align: center;">  <p>Rim lock</p> </div> </div>

SECOND FLOOR

	Description
CIRCA 1880 ADDITION	<p>The larger room measures roughly 13'-2½" x 9' and includes an added wood shelf in its southeast wall.</p>  <p>Looking East</p>  <p>Looking South</p>
	<p>The ceiling height measures 6'-7" in the two rooms. Various modern cable, telephone, and power outlets, a light switch, and thermostats are set within the drywall in both rooms.</p> <p>Similar to that in the smaller room, the four-paneled, wood door in the larger room includes a metal rim lock with a rusted brass knob and metal hinges. The doors both include simple wood thresholds.</p>  <p>Looking Southeast</p>

SECOND FLOOR

	Description
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">CIRCA 1880 ADDITION</p>	<p>Plaster applied to the walls and ceiling of the approximately 3'-6½" x 6'-4" hall that connects the two rooms remains intact. The ceiling height measures approximately 6'-6" in the hallway.</p> <p>The northwest wall of the hallway features a built-in shelving unit, while a single metal vent sits in the floor and the ceiling holds a modern light fixture. A small step leads from this smaller hallway up to the larger hall of original second story.</p> <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Modern Light Fixture</p> </div> <div style="text-align: center;">  <p>Metal Floor Vent</p> </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;"> <div style="text-align: center;">  <p>Hall Step</p> </div> <div style="text-align: center;">  <p>Looking Northwest</p> </div> </div>
	<p>The windows in the two rooms are set curiously lower in the northeast end than in the northwest and southeast walls. Attached to the baseboard below each window is an electric heater added during the 1970s restoration.</p> <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Looking North, Smaller Room</p> </div> <div style="text-align: center;">  <p>Looking East, Larger Room</p> </div> </div>

SECOND FLOOR

	Description
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">CIRCA 1880 ADDITION</p>	<p data-bbox="285 449 690 625">The walls and wood plank flooring of the three spaces, as well as the chimney, are framed by 1" x 6" chamfered baseboards with a 1" quarter-round molding.</p> <div data-bbox="699 384 1070 632">  <p data-bbox="699 640 883 667">Detail, Small Room</p> </div> <div data-bbox="1099 384 1403 936">  <p data-bbox="1099 951 1338 978">Looking Northwest, Hall</p> </div> <div data-bbox="285 684 657 936">  <p data-bbox="285 951 553 978">Looking North, Large Room</p> </div> <div data-bbox="699 684 1070 936">  <p data-bbox="699 951 956 978">Looking West, Small Room</p> </div>
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">CIRCA 1880 ADDITION - ATTIC</p>	<p data-bbox="285 1205 703 1381">A handle-less, tongue-and-groove beaded board attic access door lined in a simple wood trim is located in the ceiling of the smaller room.</p> <div data-bbox="285 1476 834 1845">  <p data-bbox="285 1864 456 1892">Attic Access Door</p> </div> <div data-bbox="850 1031 1403 1845">  <p data-bbox="850 1864 1029 1892">Looking Northeast</p> </div>

SECOND FLOOR

	Description
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">CIRCA 1880 ADDITION - ATTIC</p>	<p>The circa 1880 addition has its own open, unfinished attic space that is disconnected from the attic space of the rear building sections. Rolled fiberglass insulation covers ceiling joists. Rafters, some tied with rafter sisters, and gable-end framing members are 2" x 4" boards.</p>  <p>Looking Southeast</p>
	<p>The circa 1880 addition has its own open, unfinished attic space that is disconnected from the attic space of the rear building sections. Rolled fiberglass insulation covers ceiling joists. Rafters, some tied with rafter sisters, and gable-end framing members are 2" x 4" boards.</p>  <p>Original Northeast Gable End</p>
	<p>Rafters are tied to joists via salvaged painted and unpainted tongue-and-groove boards. Some boards have minor damage, but evidence of insect damage was not apparent during the site visit. Tongue-and-groove boards top the rafters, and untrimmed ends of such boards are visible at the juncture of the two gables.</p>  <p>Salvaged Tongue-and-Groove Boards</p>
	 <p>Damaged Board</p>  <p>Tongue-and-Groove Boards at Gable Juncture</p>

SECOND FLOOR

	Description
	<p>Much of the second story of the original building section features an open hall linking the two later additions. The southeast side of the original building now includes a bathroom and laundry room. The remainder is composed of an irregularly shaped hallway.</p>
FIRST PHASE OF CONSTRUCTION - HALL	<p>The irregular outline of the wood plank-covered hallway, which ranges between 6'-¼" to 8' between northwest and southeast walls and measures about 15'-5" between northeast and southwest walls.</p> <p>Along the southeast and northwest walls, the ceiling-wall juncture is angled following the gable pitch to allow for slightly higher ceilings. From floor-to-ceiling, the central space varies slightly, measuring between 6'-9" to 6'-10" in height. The walls and ceiling are covered in drywall. Modern light switches and fixtures are set within the drywall.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="293 886 813 1806">  </div> <div data-bbox="889 886 1438 1806">  </div> </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div data-bbox="293 1816 479 1843">Looking Southwest</div> <div data-bbox="889 1816 1075 1843">Looking Northeast</div> </div>

SECOND FLOOR

	Description
FIRST PHASE OF CONSTRUCTION - HALL	<p data-bbox="237 667 643 846">On this level, the chimney is also covered in drywall and, due to the enclosure of the laundry room, is now incorporated into that enclosure's southeast wall.</p>  <p data-bbox="800 1125 938 1150">Looking South</p>
	<p data-bbox="237 1499 647 1566">The northwest hall window is set in a simple wood trim.</p>  <p data-bbox="805 1850 987 1875">Looking Northwest</p>

SECOND FLOOR

	Description
FIRST PHASE OF CONSTRUCTION - HALL	<p>The 1" x 6" baseboard is chamfered and includes a 1" quarter-round molding at its base. The later wall enclosing the laundry room includes a matching baseboard that also spans the drywalled chimney base. Attached to the baseboard below the window is an electric heater added during the 1970s restoration.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="300 514 841 873">  <p data-bbox="300 892 560 924">At Stair, Looking Northwest</p> </div> <div data-bbox="867 514 1408 873">  <p data-bbox="867 892 1182 924">At Laundry Room, Looking South</p> </div> </div>
FIRST PHASE OF CONSTRUCTION - BATHROOM	<p>Though the roughly 7'-6" x 4'-10³/₄" bathroom was in use as such by the 1970s restoration, it is unclear when this room was first transformed as such.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="295 1134 646 1797">  <p data-bbox="295 1810 435 1837">Looking North</p> </div> <div data-bbox="672 1134 1024 1797">  <p data-bbox="672 1810 795 1837">Looking East</p> </div> <div data-bbox="1052 1134 1421 1797">  <p data-bbox="1052 1810 1192 1837">Looking South</p> </div> </div>

SECOND FLOOR

		Description
FIRST PHASE OF CONSTRUCTION - BATHROOM		<p>Patterned vinyl Armstrong tiles compose the bathroom flooring, which is framed by a 7" squared baseboard.</p> <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>Armstrong Tile Floor</p> </div> <div style="text-align: center;">  <p>Baseboard</p> </div> </div>
		<p>A four-panel wood door encloses the bathroom. The door includes a metal rim lock with a brass knob, metal hinges, and a replaced threshold.</p> <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p>From Hall</p> </div> <div style="text-align: center;">  <p>From Bathroom</p> </div> <div style="text-align: center;">  <p>Rim lock</p> </div> </div> <div style="text-align: center; margin-top: 10px;">  <p>Hinge</p> </div>

SECOND FLOOR

		Description	
FIRST PHASE OF CONSTRUCTION - BATHROOM	<p>The bathroom window sits in a simple wood trim. Attached to the baseboard below the window is an electric heater added during the 1970s restoration.</p>  <p>Looking Southeast</p>	<p>Modern power outlets and light switches are set within the drywall. During the restoration, a new bathtub, toilet, vanity, light fixtures, and sink were installed. Additionally a combination fan/light was installed above the bathtub and towel rods were attached to the door. An added shelf sits above the toilet in the room's northeast wall.</p>  <p>Combination Fan/Light</p>	
	<p>The Laundry Room was added sometime after the 1970s restoration and covers a space of approximately 7'-7$\frac{3}{4}$" x 7'-$\frac{3}{4}$". According to a previous resident, this small room was first enclosed as a walk-in closet during the 1980s. A tall cabinet and clothing rods were installed at that time. Added shelves now sit above a circa 2000 washer and dryer along the northeast wall. Behind the washer and dryer the walls have been covered in exposed, nailed hardboard. Modern power outlets, a washer/dryer hookup, and a thermostat are set within the drywall.</p>  <p>Looking Southeast</p>  <p>Looking East</p>  <p>Looking West</p>  <p>Looking North</p>		

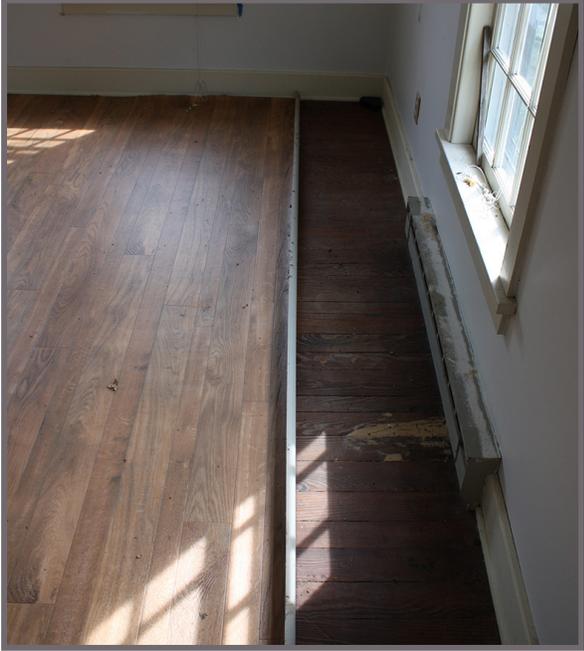
SECOND FLOOR

		Description	
FIRST PHASE OF CONSTRUCTION - LAUNDRY ROOM	<p>A remnant of the 1" x 6" chamfered baseboard and 1" quarter-round molding sits along the southeast wall. This baseboard matches that found in the main hall. Other baseboards have been removed.</p>	<p>The southeast window sits in a simple wood trim. Attached to the baseboard below the window is an electric heater added during the 1970s restoration.</p>	
			
	<p>Baseboard Remnant</p>	<p>Looking Southeast</p>	
	<p>A two-panel, wood louvered door with a metal handle and a missing hinge hangs gingerly from the door frame.</p>		
			
<p>Handle</p>	<p>From Laundry Room</p>		

SECOND FLOOR

	Description
	<p>The second story of the circa 1873 addition consists of a master bedroom. In the ceiling is another access door to both the circa 1873 and original attic spaces.</p>
<p>CIRCA 1873 ADDITION - BEDROOM</p>	<p>Above the kitchen, the second floor of the circa 1873 addition consists of a single, roughly 13'-3¾" x 13'-6¾" bedroom. Walls and ceilings are finished in drywall. The height of the bedroom is 7'-6" from floor to ceiling. Various modern cable, telephone, and power outlets, a light switch, and a thermostat are set within the drywall throughout the room.</p> <div style="text-align: center;">  <p>Looking North</p>  <p>Looking West</p>  <p>Looking East</p>  <p>Looking South</p> </div>

SECOND FLOOR

	Description
CIRCA 1873 ADDITION - BEDROOM	<p>The wood plank flooring is almost completely covered by a rolled vinyl floor covering. Along the floor perimeter, the vinyl covering is tucked below the baseboard.</p>  <p>Vinyl (Left) and Wood Plank (Right)</p>  <p>Along Southwest Wall</p>
	<p>The 1" x 6" baseboard includes a chamfered edge and a 1" quarter-round base trim.</p>  <p>West Corner</p>

SECOND FLOOR

	Description
<p>CIRCA 1873 ADDITION - BEDROOM</p>	<p>The vertical wood board door framed by a simple wood casing in the northeast wall includes a rim lock with a bronze knob Metal hinges carry the door, whose base is marked by a simple wood threshold.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="293 485 678 1220"> <p>From Room</p> </div> <div data-bbox="711 485 1096 1220"> <p>From Hall</p> </div> <div data-bbox="1105 485 1463 779"> <p>Rim lock</p> </div> <div data-bbox="1105 890 1463 1184"> <p>Hinge</p> </div> </div>
	<p>Simple wood trim and sills also surround windows. Attached to the baseboard of the northwest, southwest, and southeast walls, below three of the four windows, is an electric heater.</p> <div style="text-align: center;"> <p>Southeast Wall, North Window</p> </div>

SECOND FLOOR

	Description	
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">CIRCA 1873 ADDITION - ATTIC</p>	<p>A handle-less, tongue-and-groove beaded board attic access door lined in a simple wood trim is located in the ceiling near the door of the circa 1873 bedroom.</p>  <p>Attic Door</p>	<p>The trim surrounding the attic door interior includes graffiti by some of the latest tenants of the property, including David Koritko and his son, Nicholas, and Joan Mitchell of Woodlawn Stables.</p>  <p>Graffiti on Door Trim</p>
	<p>Only the original chimney divides the attic spaces of the circa 1873 addition and the original building. The space is otherwise relatively open. Unlike the northeast end, the cladding covering the original gable is not present at the southwest end. Rafters, braces, and gable-end framing members in both rear-ell attic sections are sawn lumber. A mix of tongue-and-groove and plywood boards tops the rafters.</p>	 <p>Chimney and Framing Dividing the Two Attic Spaces</p>  <p>Circa 1873 Attic Space</p>

SECOND FLOOR

	Description
CIRCA 1873 ADDITION - ATTIC	<p>A metal ventilation pipe runs the length of the attic spaces from northeast to the southwest gable end. From exterior view, small ventilation holes are visible in the southwest gable end at the attic level near the southeast elevation.</p>  <p>Ventilation Holes, Southwest Gable</p>
	<p>Rolled fiberglass insulation covers ceiling joists. Joists are tied to rafters via painted and unpainted, salvaged tongue-and-groove boards.</p>  <p>Original Building, Looking Northeast</p>  <p>Circa 1873 Addition, Looking Southwest</p>

Eight: Assessment of Existing Conditions

The Otis Tufton Mason House appears to be in good shape overall; however, due to its current vacant state, insect nests and damage, as well as small animal droppings are evident in the interior. Such damage and nests are mentioned in the description, and will become more prominent without attention.

EXTERIOR

Description	
EXTERIOR	<p>The main entrance door was not operable during the site visits of the current study.</p>  <p>Main Entrance</p>
	<p>The kitchen door on the northwest elevation was also inoperable during site visits.</p>  <p>Kitchen Door</p>

PORCH

	Description
PORCH	<p>The porch floor is currently devoid of much of its paint and is deteriorating.</p>  <p>Missing Floorboards and Chipping Paint</p>
PORCH	<p>Boards are missing or shifting in some places.</p>  <p>Shifting Floorboards</p>
PORCH	<p>Paint is peeling from chamfered porch posts.</p>  <p>Pealling Paint</p>

CELLAR

		Description
CELLAR	<p>Some insect damage was visible in the sill marking the southwest wall of the original building.</p>	 <p>Southwest Sill</p>
	<p>Rolled fiberglass insulation is damaged and falling.</p>	 <p>Damaged Insulation</p>

PARLOR

		Description
PARLOR	<p>The window to the right of the door in the northeast wall has a broken muntin, while the window to the right of the stove in the northwest wall has a broken pane.</p>	
	 <p>Broken Muntin, Northeast Wall Window</p>	 <p>Broken Pane, Northwest Wall Window</p>

DINING ROOM

	Description
DINING ROOM	<p>Damage in the dining room includes minor gaps and cracks in floorboards.</p>  <p>Floorboard Gap</p>
	<p>Damage in the floorboards is evident along the northwest wall near the stairwell.</p>  <p>At Stairwell Opening</p>
	<p>A gap in the floorboards at the chimney led to the application of sprayed insulation at that juncture.</p>  <p>Gap at Chimney with Sprayed Insulation</p>
	<p>Minor cracks in floorboards surround the metal floor vent.</p>  <p>Cracks Near Vent</p>

DINING ROOM

Description	
DINING ROOM	<p>Drywall damage is visible behind the northern-most heater on the southeast wall.</p>  <p>Looking North</p>
	<p>This room has recently been painted in a patchwork of yellow and violet, with the name "OTIS" vertically painted into the northwest wall. Above the southeast wall fenestration is the following quote from the Declaration of Independence:</p> <p>"But when a long train of abuses and usurpations pursuing invariably the same object evinces a design to reduce them under absolute Despotism, it is their right, it is their duty to throw off such Government, and to provide new Guards for their future Security. July 4, 1776"</p>  <p>Looking South</p>  <p>Looking East</p>  <p>Looking North</p>

EIGHT: Assessment of Existing Conditions

DINING ROOM

DINING ROOM

Description

Names carved into the sills of the northwest wall window and the window to the left of the door in the southeast wall, and into a pane in the same southeast wall window suggest that such graffiti was added as late as 2006. At least one sill bears the name of the building's last tenant.



Southeast Windowsill



Southeast Window Pane



Southeast Windowsill



Northeast Windowsill

KITCHEN

	Description
	<p data-bbox="240 478 587 585">A damaged quarry tile-and-plywood pad carries the Real Apollo stove in the kitchen.</p>  <p data-bbox="729 684 867 711">Damaged Tile</p>

SECOND FLOOR, CIRCA 1880 ADDITION

	Description	
<p data-bbox="175 1241 207 1535">CIRCA 1880 ADDITION</p>	<p data-bbox="240 953 711 1022">The drywall surrounding the chimney in the smaller room is cracked.</p>  <p data-bbox="240 1808 415 1835">Damaged Drywall</p>	<p data-bbox="756 953 1357 1022">The large room drywall includes both patched and unpatched holes.</p>  <p data-bbox="792 1717 948 1745">Holes in Drywall</p>

SECOND FLOOR, CIRCA 1880 ADDITION

	Description	
<p>CIRCA 1880 ADDITION</p>	<p>In the smaller room, the window in the northwest wall has a crack in the left pane of its upper sash.</p>  <p>Broken Pane</p>	<p>Though covered by a storm window, the lower sash of the northeast window of the larger room is missing. A matching vertical two-light sash is currently housed in the cellar.</p>  <p>Damaged Wood Strips</p>
<p>The windowsill on the southeast wall of the larger room is currently detached.</p>	 <p>Detached Sill</p>	
<p>Above the southeast wall window is a small insect nest.</p>	 <p>Insect Nest</p>	

SECOND FLOOR, CIRCA 1880 ADDITION

	Description
CIRCA 1880 ADDITION	<p>Several wood strips previously applied to window frames in this building section are damaged.</p>  <p>Lower Sash Missing</p>

SECOND FLOOR, FIRST PHASE OF CONSTRUCTION

	Description
HALL	<p>Drywall is cracking on the wall and ceiling near the north corner of the laundry room doorway.</p>  <p>Cracked Drywall at Laundry Room Door</p>
BATHROOM	<p>Insect damage is evident in the muntins of the southeast window. Muntins have been painted since this damage occurred.</p>  <p>Detail, Insect Damage</p>

SECOND FLOOR, FIRST PHASE OF CONSTRUCTION

	Description
BATHROOM	<p>A large drywall hole is visible from just above the vanity.</p>  <p>Drywall Hole</p>
	<p>The louvered door is missing its upper hinge.</p>  <p>Detached Hinge</p>
LAUNDRY ROOM	<p>Insect damage is evident in the muntins of the southeast window.</p>  <p>Muntin Damage</p>
	<p>Some baseboards have been removed from this room. Small drywall holes are also evident in this area.</p>  <p>Missing Baseboard</p>

SECOND FLOOR, CIRCA 1873 ADDITION

	Description
CIRCA 1873 ADDITION	<p>Holes and peeling are evident in the drywall of this room.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="250 401 789 758">  <p data-bbox="250 772 464 798">Hole in Southeast Wall</p> </div> <div data-bbox="831 401 1370 758">  <p data-bbox="831 772 1062 798">Peeling Near Attic Door</p> </div> </div>
	<p>All but one of the windows in this room shows muntin damage. Windows in the southwest and northwest walls displays such, which appears to be caused by insects.</p> <div style="display: flex; justify-content: space-around;"> <div data-bbox="250 961 789 1318">  <p data-bbox="250 1333 480 1358">Southwest Wall Window</p> </div> <div data-bbox="831 961 1370 1318">  <p data-bbox="831 1333 1127 1358">Southeast Wall, South Window</p> </div> </div> <div style="text-align: center; margin-top: 20px;">  <p data-bbox="610 1764 967 1789">Detail, Southeast Wall, North Window</p> </div>

Nine: Conclusions

The L-shaped, two-story Otis Tufton Mason House was constructed in three phases beginning around 1854. The original two-story, three-bay building was constructed with a fieldstone cellar that remains intact and in use today. A cross-gabled roof covers the original building section and the attached circa 1873 and circa 1880 additions to the northeast and southeast. Though a hip-roof porch was added to the building in the 1930s, the last building addition was constructed during the tenure of the Mason family, which ended with the sale of the property in 1902.

The ownership of the Otis Tufton Mason House from 1902 to the present has resulted in its long-term use as a secondary dwelling connected to the Woodlawn property for over a century. Residents of the house since Paul Kester purchased the property from Otis Mason have been tenants or employees of Woodlawn owners or, beginning in the late twentieth century, sublessees or employees of Woodlawn Stables, Inc. This use, which likely both prevented further additions and substantial alterations, and the 1970s restoration have resulted in the building retaining its nineteenth-century form and much of its nineteenth-century character.

The building's placement in an undulating, partially wooded landscape approximately 475 feet south of U.S. Route 1 has also helped to preserve the building's character. The immediate setting and landscape surrounding the Otis Tufton Mason House maintains a rural feel despite encroaching high-density, suburban development of Fairfax County. The meadow-like quality of its immediate yard and the mature trees framing parts of the building and its surroundings are not altogether unlike the setting visible in the circa 1900 photograph of the Mason family seated outside of their weekend home. This placement and the surrounding mature vegetation also shield the house from views of modern development during most months.

As tenants have occupied the building in recent years, its current condition appears stable. However, the present unoccupied state of the Otis Tufton Mason House has led to some mild, but visible deterioration. Muntin damage due to invading insects, as well as insect nests and small animal droppings are present throughout the house. While currently such damage appears to be minimal, problems will increase without attention.

It is the hope of New South Associates that the historical context and architectural and landscape description presented in this report will aid in the successful relocation of the Otis Tufton Mason House. While the house is not individually eligible for listing in the National Register of Historic Places, it is a contributing resource to the Woodlawn Cultural Landscape Historic District. The Otis Tufton Mason House combines with the other resources of the historic district to convey a multi-faceted, enduring history whose sustained presence is of mounting importance within the ever-growing suburban streetscapes of Fairfax County.

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Appendix A.

Development Project Completion Report

SQUARE
DEAL

COMPOSITION

MASON HOUSE RESTORATION

FIELD NOTES

aMeadProduct

Mellen Publishing, Dayton, Ohio 45422

NATIONAL TRUST

WOODLAWN PLANTATION

MASON HOUSE

RESTORATION

OCT 1974-SEPT 1976

PROPOSALS AND SPECIFICATIONS

CATALOG OF PHOTOS

FIELD NOTES

LAURA WALKER

SEE BACK OF BOOK FOR

LIST OF PRINCIPAL CHARITERS

REFERRED TO IN TEXT

IN ADDITION TO THESE NOTES,
THERE ARE :

MEASURED DRAWINGS

PROPOSALS AND SPECIFICATIONS

CATALOG OF PHOTOS

CATALOG OF ARTEFACTS

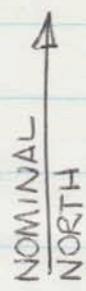
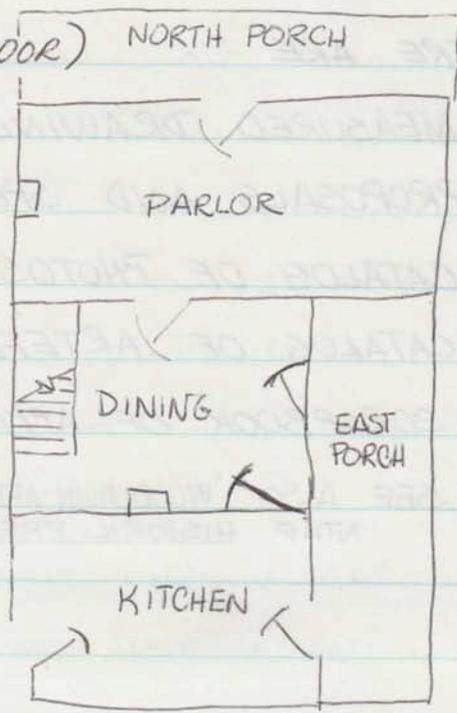
SCRAPBOOK OF APPLIANCE INFO. SHEETS

SEE ALSO "WOODLAWN AFTER THE LEWISes". by Tony Wrenn
NTHP HISTORIC PRESERVATION

SEE BACK OF BOOK FOR
LIST
~~INDEX~~ OF PRINCIPAL 'CHARACTERS'
REFERRED TO IN TEXT.

SKETCH PLAN WITH ROOM-NAME IDENTIFICATIONS

FIRST FLOOR (GROUND FLOOR)



SECOND FLOOR



OCTOBER 1974

2 POLE STRINGERS ARE COLLAPSED
BRIDGE ACROSS CREEK VERY UNSAFE, BUT TRUCK CAME ANYWAY.
SEPTIC TANK WAS PUMPED^A; HOUSE TRACT
WAS BUSH-HOGGED FOR THE FIRST TIME,
TRASH PICK-UP STARTS. (4 PICK-UP TRUCK
LOADS OF BEER CANS AND BOTTLES CAME
FROM THE GROUNDS). LINOLEUM REMOVED FROM FLOORS.
ESTIMATORS FROM PMC CONTRACTORS CAME
TO FIGURE HEAT-LOSS FOR A FORCED AIR
HEAT SYSTEM.

NEW TOILET WAS INSTALLED AND MAJOR LEAK
IN PIPE [COLD WATER SUPPLY IN CHASE ON BACK
PORCH] REPAIRED. SOIL STACK WAS REPAIRED.
CELLAR WAS PUMPED OUT - BAD PLUMBING
AND LEAKS IN FOUNDATION WALLS HAD
CAUSED CELLAR TO REMAIN FLOODED
WITH 12" - 18" OF WATER AND SEWAGE, ROTTING
ACCESS STAIRS, ETC. - GRIFFIN PLUMBING
AND HEATING. THIS IS A TEMPORARY REPAIR.*

OCT. 31 ^{WE} WALKERS SPEND FIRST NIGHT IN
HOUSE, CAMPING OUT, TO DISCOURAGE
HALLOWEEN VANDALISM.

* ^{US} ENABLES WALKERS TO MOVE IN, WHILE WAITING FOR GRANT. PIPES WILL CONTINUE TO FAIL UNTIL MOVED WITHIN WALLS.

NOVEMBER 1974

HOUSE IS FULL OF TRASH, STACKED 4'-5' HIGH IN CORNERS, CAT LITTER, DEAD ANIMALS, FILTH. EAST PLANE OF ROOF LEAKS BADLY AND DRYWALL CEILING ON SECOND FLOOR ARE SAGGING, STAINED AND MOLDY. 8 WINDOWS ARE BROKEN, ALL NOW FIT POORLY. ALL WALLS ARE GREASE AND SMOKE ENCRUSTED. BOTH PORCHES ARE ROTTED AND UNSAFE. HORNETS ^{ARE} NESTING ON EAST PORCH INSIDE OLD UPHOLSTERED FURNITURE, HONEY BEES INSIDE NORTH HOUSE WALL, BATH FLOOR IS ROTTEN.

GOAL IS TO GET THE HOUSE PASSABLE FOR TEMPORARY OCCUPATION SO THAT WE WALKERS CAN MOVE IN COMPLETELY, GIVE UP RENTAL OF QUARTERS ON FORT BELVOIR, AND MAKE PROPOSALS IN DETAIL FOR THE RESTORATION OF MASON HOUSE.

BROKEN OUT GLASS WAS REPLACED WITH NEW PANES - (ALL SASH MUST BE COMPLETELY REWORKED ONCE RESTORATION IS UNDER WAY) ALL WINDOWS ARE WASHED. TACKED AND BATTENED SCREENING

AND PLASTIC WINDOW AND DOOR COVERS ARE IN SHREDS AND ARE REMOVED.

KITCHEN, BATH, AND STUDY WALLS ARE SCRUBBED WITH STEEL WOOL AND AMMONIA BECAUSE NOTHING ELSE WILL CUT THE DIRT. EXISTING STOVE, REFRIGERATOR, SINKS AND BATHTUB ARE SCOURED AND DISINFECTED. REFRIGERATOR IS 1940'S ROUNDTOP THAT STILL WORKS, SORT OF, BUT PERSISTENTLY LEAKS ONTO THE FLOOR, AND KITCHEN FLOOR IS VERY SPONGEY AROUND IT, AND KITCHEN SINK AREA HAS FAILED COMPLETELY SO THAT THERE IS AN 8" HOLE IN THE FLOOR. ALL FAUCET WASHERS HAVE VANISHED WITH AGE, SO ALL NEW WASHERS

INSTALLED EVERYWHERE. EACH STOVE ELEMENT WORKS AT 1 OR 2 TEMPS BUT NOT AT ALL SETTINGS - TO TURN DOWN A TEMP. MUST SWITCH TO OTHER BURNER. THERE IS A FAIRLY NEW HOT WATER HEATER IN

CELLAR (110 V. MOBILE HOME QUICK RECOVERY, FROM SEARS).

THE CAPACITY IS TOO SMALL, ALL IT NEEDED WAS NEW ELEMENT SO WE WILL KEEP IT, ~~AND~~ BUT MAKE ALLOWANCE IN NEW WIRING FOR FUTURE INSTALLATION OF A LARGER ONE. NEW TOILET INSTALLED

2 OIL-BURNING SPACE HEATERS DO NOT WORK (KITCHEN & PARLOR)

NOV. 74 cont

AND WE REMOVED THEM. ^{WE} (WALKERS) PURCHASED
A SMALL WOOD-OR-COAL STOVE, ^{FROM NIC'S ATTIC IN FAIRFAX} FOR STUDY AND

INSTALLED IT. ~~THE~~ WE ARE ALSO LOOKING FOR
PARLOR & COOK STOVES. [HOUSE HAS NO HEAT AND
QUESTIONABLE ELECTRICITY]. WICK CLIMBED ON
ROOF AND CLEANED CHIMNEYS BY RUNNING A
BURLAP BAG FULL OF CHAINS UP AND DOWN THE
FLUES ON A ROPE. CHIMNEY TOPS ARE CRUMBLING
AND THERE ARE NO CLEANOUT DOORS ON THE
BOTTOMS OF THE FLUES. [PLAN ON USING "CHIMNEY-
SWEEP™ CRYSTALS ONCE A MONTH TO KEEP IT CLEAN]

PARLOR CHIMNEY HAS VERY SMALL FLUE - 4" x 8"

WE PLOTTED AND FERTILIZED A VEGETABLE PLOT
TO THE SOUTH OF THE HOUSE, AND CLEANED
THE GUTTERS.

DECEMBER 1974

^{WE}
~~WALKERS~~ BUILD A KENNEL YARD TO EAST OF
HOUSE, BOTTOM EDGE IS ENTRENCHED APPROX 6".
CELLAR IS CLEANED OF EASILY REMOVABLE

DEBRIS, LEAKS IN FOUNDATION ARE
LOCATED ^{IN CELLAR}. WE FOUND 4 HOME-MADE
STORM WINDOWS FOR PARLOR, AND
CLEANED, PAINTED, AND INSTALLED THEM.
THEY WILL NOT BE USED, HOWEVER, AFTER THE
RESTORATION IS COMPLETE.

WE ENLARGED A FRENCH DRAIN IN CELLAR
FOR TEMPORARY GAIN, BUT EITHER LARGE
SCALE DRAINS OUTSIDE THE FOUNDATION, OR
A SUMP PUMP WILL BE ^{EVENTUALLY} REQUIRED. FROM
DIGGING IN THE DRAIN IT SEEMS AS IF
THERE IS A NATURAL SUBTERRANEAN WATER
-CONDUCTING LAYER OF GRAVEL OVERLAYING A VERY
HARD ^{LAYER} IMPERVIOUS TO WATER. THE CELLAR FLOOR
IS CONCRETE, HARDLY ORIGINAL. CONCRETE WAS
PROBABLY PUT IN WHEN CELLAR BEGAN TO BE
USED FOR COAL HEATER AND/OR ELECTRIC WELL
PUMP AND WATER TANK. ONE IS TEMPTED TO
SPECULATE ABOUT THE EARLIER CELLAR - IF IT WAS ~~THE~~
DAMP AND TROUBLESOME - ONLY THE OLDEST PART OF THE
HOUSE HAS A CELLAR BUT THE ENTRANCE WAS REWORKED

DEC 74 cont

ONCE WHEN THE KITCHEN & BEDROOM WERE ADDED,

[VIA TRAPDOOR IN EAST PORCH, WHICH WILL BE RESTORED]

AND ONCE AFTER 1953 (DEDUCED FROM NTHP PHOTO)

WHEN INTERIOR DINING STAIRWAY WAS CHANGED, AS

SHOWN IN ^{MY} (LAURA WALKER'S) 1974 "BEFORE" MEASURED

DRAWINGS, CHANGED TO HAVE READY INSIDE ACCESS

FOR STOKING OF COAL FURNACE? SEE ROLL 3 #20 ^{19A OR}

JANUARY 1975

WALKERS PURCHASE WOOD-OR-COAL BURNING REAL

APOLLO COOKSTOVE FROM ACME STOVE CO., WASHINGTON

D.C. [PURCHASED BY THEM FROM HOUSE IN D.C. TORN DOWN

FOR URBAN RENEWAL]. STOVE IS IN PIECES, COATED WITH
HEAT-RESISTANT

MANY LAYERS OF PAINT. IT HAS SCREW-ON PLATE FROM

JENK'S HARDWARE ["W.S. JENKS & SON, WASHINGTON D.C.]

WHO WAS MOST LIKELY ITS RETAILER. JENKS IS STILL
OLD BUSINESS

IN BUSINESS. THEIR CATALOGS WERE JUST GIVEN

TO THE SMITHSONIAN; HAVE NOT YET BEEN

THRU THE ACCESSION CATALOGING AND ARE CURRENTLY

NOT AVAILABLE, BUT IT SHOULD BE POSSIBLE TO DATE

THE STOVE THIS WAS, LATER. WICK IS CLEANING

THE STOVE WITH PAINT STRIPPER, WIRE BRUSH,

NAVAL JELLY AND BRASS-O. IT IS A TERRIBLE
LONG UNPLEASANT JOB.

THERE IS A PILE OF OVERGROWN CRUSHED GRAVEL
AGAINST THE SOUTH SIDE OF THE HOUSE. THIS
WE WHEEL-BARROWED TO THE WORST SPOTS
IN THE DRIVEWAY - AGAIN A TEMPORARY MEASURE
BECAUSE THE HILLSIDE ABOVE DRAINS OVER
AND THEN DOWN THE ROAD, ERODING IT AS
IT GOES. THE DRIVEWAY IS 4" UNDER WATER
DURING A THUNDERSTORM. IT NEEDS DITCHING AND
TWO CULVERTS IN ADDITION TO REGRADING.

BASED ON ARMY FIELD FORMULA, WE DECIDED
WHERE CULVERT SHOULD BE, AND UPON CLEARING
BRUSH AWAY AND HAVING A CLOSER LOOK DISCOVERED
BRICK RUBBLE. UPON TENTATIVE EXCAVATION,
WE FOUND AN OLD CULVERT, NOW CRUSHED,
BRICKS AT THE CULVERT SEEM TO BE RUBBLE -
NO STRUCTURAL PATTERN REMAINS. MR. SMITH
SUGGESTS IT MAY BE RUBBLE FROM THE
REWORKING OF WOODLAWN PLANTATION HYPHEN
DEPENDENCIES.

JAN 75 cont

IN A WALKING SURVEY, OTHER STRUCTURAL BRICK, etc. WAS FOUND. ^{JUST} WEST OF THE HOUSE IS UNMORTARED BRICK PATH. A SIMILAR BRICK-PAVED SURFACE FRAGMENT (~3' x 6' MAXIMUM RECOGNIZABLE AREA CONTAINING JUXTAPOSED BRICKS, ALTHO SINGLE SCATTERED BRICKS ARE EXPOSED FOR 20') IS LOCATED AMONG THE TREES JUST SOUTH OF CREEK AND WEST OF DRIVEWAY. * APPROX 30 FEET DOWNSTREAM OF BRIDGE IS MORTARED STONE WALL IN CREEK BED. THIS MAY HAVE BEEN AN ABUTMENT FOR AN EARLIER BRIDGE OR A RETAINING WALL OF THE CREEK BED.

SIX ROUND POSTS, POSSIBLY THE FOUNDATION OF A SMALL OUTBUILDING, ARE LOCATED ON THE HILLSIDE SOUTH OF THE CREEK AND WEST OF THE BARNS. KAREN KELLEY, WHO USED TO VISIT THE STABLES SIX YEARS AGO RECALLED A LOG CABIN RUIN IN THE WOODS SOMEWHERE SOUTH AND/OR EAST OF THE MASON HOUSE BUT SHE COULD NOT NOW FIND IT, OR ITS LOCATION, OR RECALL ANYTHING ABOUT IT.

→ *NOTE ADDED 1976 - BULLDOZING OF CREEK BED AND REMOVAL OF CREEK-UNDERCUT TREES BY WOODLAWN STABLES INC DESTROYED THESE TRACES.

EAST AND
IN THE UNDERBRUSH OF THE FIELD ^{EAST AND} SOUTH OF THE
HOUSE, AMONG A GREAT DEAL OF ^{RECENT (WITHIN ± 20 YRS)} HOUSEHOLD GOODS
TRASH AND AUTO PARTS, A WAGON WAS FOUND.
EAST OF HOUSE THERE ARE TWO HEAVILY SET
AND BRACED IRON PIPES, SUPPORTING A WIRE
SCREEN FENCE. NOW BADLY OVERGROWN WITH
HONEY-SUCKLE AND YOUNG WALNUT, THIS PROBABLY
ONCE SUPPORTED GRAPES, AS THERE ARE TRACES
OF 2 HUGE VINE STUMPS, AND GRAPE VINES ARE
STILL FIGHTING THE HONEY-SUCKLE BUT NOT PRODUCING.
PARALLEL TO THIS FENCE/SCREEN AND JUST SOUTH
IS A MORTARED BRICK FOUNDATION, POSSIBLY
AN OUTHOUSE? *

FEBRUARY THRU SEPTEMBER 1975

DRAW PLANS AND SUBMIT PROPOSAL
INSTALL KITCHEN ~~ST~~ COOKSTOVE AND
TEMPORARY LINOLEUM FLOOR IN KITCHEN
CONTINUE CLEARING BRUSH AND DEBRIS

* AFTER FURTHER CLEARING OF AREA, THIS WAS IDENTIFIED
BY MRS THORPE AS A COLD FRAME.

SPRING, SUMMER 1975

FROM HOUSE AND GROUNDS,

MRS. THORPE, ^{ONE-TIME} RESIDENT OF MASON HOUSE

WHO NOW WORKS AT WOODLAWN PLANTATION, CAME

BY FOR A VISIT, HELPING TO IDENTIFY WHAT

WORK WAS DONE TO THE HOUSE DURING THEIR

OCCUPANCY, WHAT ROOMS THEY USED FOR WHAT, ETC.
SEE REPORT ON INFORMANTS.

AFTER MAJOR TRASH FROM FIELD HAS BEEN

STACKED, MR. BATTEN REMOVED IT IN THE

PICKUP AND BUSH-HOGGED SEVERAL TIMES.

SUCH TRASH INCLUDED:

FROM CELLAR: WELL PUMP; PRESSURE TANK
FOR WELL PUMP; GAS HOT WATER HEATER; COAL
SPACE HEATER [A ONE-ROOM MODEL THAT HAD BEEN
HOME-MODIFIED TO DUCT WARM AIR UPWARDS THRU ONLY ONE
GRATE IN DINING ROOM FLOOR - KEEPING THIS HEATER

FED MAY HAVE BEEN THE REASON FOR MODIFYING STAIRS
(AFTER 1953) AND CONVERTING OLD CELLAR ACCESS VIA TRAP
DOOR ON PORCH TO A COAL CHUTE]; COPPER PIPE;
COAL; KLINKERS; ROTTED WOOD

FROM GROUNDS: ELECTRIC STOVE, IN PIECES;
CAR DOORS, FENDERS, SEATS, CAR AND TRUCK

TIRES; WRINGER-TYPE WASHING MACHINE;
IRON BEDSTEAD; OIL BARRELS; FUEL STORAGE
TANK; ROLLS OF STOCK FENCE; BARB WIRE;
IRON PIPE; IRON FENCE POSTS; PLYWOOD AND
PLANK BODY FOR TRANSPORTING LIVESTOCK ON
FLATBED TRUCK; TRICYCLE; BICYCLE; HEAPS OF
CLOTHING AND SMALL HOUSEHOLD APPLIANCES (TOASTER,
POTS, PANS, KETTLES...) AN AXLE AND DRIVE
SHAFT REMAIN TO BE PICKED UP.

^{MATCHING}
TWO, PARTIALLY ROTTED WOODEN KITCHEN
CHAIRS WERE SAVED, AND HOPEFULLY WHEN
ALL ELSE IS DONE, THEY CAN BE REPAIRED
(THERE IS ALMOST
ENOUGH SOLID WOOD BETWEEN THE PAIR OF THEM
TO MAKE ONE CHAIR;.. THE STYLE OF THESE CHAIRS
IS OLD ENOUGH THAT THEY MAY DATE TO THE
MASON OCCUPANCY. ALTHOUGH IT IS ASKING A
LOT TO THINK THAT THEY ACTUALLY COULD BE ASSOCIATED
WITH EARLY TENANTS, IT IS A VAGUE POSSIBILITY.
AN UPHOLSTERED SIDE CHAIR OF PARLOR TYPE
WAS FOUND ON EAST PORCH, AND IT TOO MAY BE
OLD ENOUGH TO BE OF MASON'S PERIOD.

SPRING / SUMMER 1975

THE CONDITION OF CHAIRS IS VERY POOR
BUT I WOULD LIKE TO SEE THEM GO WITH
THE HOUSE.

WE TOOK THE POST-1953 STAIRS THAT LED FROM
DINING ROOM TO CELLAR, DISASSEMBLED THEM,
CUT OFF THE BOTTOM TWO STEPS WHICH HAD
ROTTED DURING CELLAR FLOODS, AND RE-INSTALLED
THEM IN THE ERSTWHILE COAL CHUTE. THERE
IS NOT A WHOLE LOT OF HEAD ROOM IN THIS
~~NEW~~ RECONSTRUCTED ACCESS.

WE CLEARED TURF FROM REST OF ~~BR~~ BRICK
(THE PATH'S NORTH END
PATHWAY. ~~IT~~ APPEARS TO HAVE ERODED AWAY AS DRAWN
BUT THE SOUTH END SKIRTS THE HOUSE AND CON-
TINUES TO THE EAST PORCH. EVENTUALLY WE
WILL ^{EXTEND} ~~TAKE~~ PATH TO NORTH DOOR.

THE NORTH PORCH, ACCORDING TO MRS THORPE,
WAS ADDED IN THE 1930'S. ALTHOUGH IT IS A
PLEASANTLY COOL SPOT ON HOT SUMMER DAYS, IT
IS VERY SHAKEY, ROTTED, AND I FIND THE
LINES OF THE ^{PORCH} ROOF DISCORDANT. I WAS TEMPTED

TO TRY TO REPAIR IT, EXCEPT THAT THE
AIM OF THE RESTORATION IS FOCUSED AT
THE MASON PERIOD^{1893 (APPROX.)} AND THAT WOULD NEVER DO.

WICK AND I REMOVED THE PORCH, & WICK
WAS FIGHTING THE BEES AND DISASSEMBLING -
I WAS SAWING UP DEBRIS AS FIREWOOD.

WHEN THE PORCH POSTS WERE FINALLY OFF WE
(FULL COVERAGE, NOT DRIPS)
COULD SEE TRACES OF WHITE PAINT ON THE
SIDING. THE PORCH INDEED HAD BEEN ADDED AT LEAST
AFTER THE HOUSE HAD BEEN PAINTED.

THE PORCH CEILING WAS ROUGHSAWN 1x6 (NOMINAL)
ON THE LARGE NORTH PLANE, FINISHED 1x6 (NOM.)
ON THE TWO SMALLER SIDE PLANES (!)

THE PORCH HAD BEEN SCREENED, ALTHOUGH
NOT ORIGINALLY AND SOME OF THE
SCREEN BATTENS APPEAR TO MATCH THE KITCHEN
CHAIR RAIL (AS SHOWN IN NTHP PHOTO 1968).
SINCE THIS MILLWORK ("MORGAN CHAIR RAIL")
IS STILL IN PRODUCTION TODAY, AND ^{WE} HAVE
AS YET NO EARLY ASSOCIATIONS UNDISTURBED,
WHO CAN TELL WHEN IT WAS ADDED TO

THE KITCHEN ? HOPEFULLY ALL PAINT-LAYERING
WILL NOT BE GONE WHEN WE GET THE
KITCHEN WALLS OFF.

UNDER THE NORTH PORCH I SAW NO
TRACES OF THE BRICK WALK. ~~HAVING~~ I DID
NOT UNDERTAKE MAJOR EXCAVATING BUT IT LOOKS
AS IF THE GROUND LINE IS LOWER HERE

THAN ORIGINALLY SO WE CAN'T REALLY RULE IT
AND NO ARTIFACTS AT ALL. NOT LIKE REST OF HOUSE AREA WHERE
OUT. ^A THE NORTH FOUNDATION, HOWEVER, IS IN

BAD SHAPE, SEE PHOTOS, SET ON COBBLES
WITHOUT FOOTINGS, OFTEN REPAIRED AND
STILL FAILING.

LUMBER FOR ^{NEW} BRIDGE ^{IS} ARR ^{DELIVERED} ^{FT.} BELVOIR
WILL BUILD IT AS A COMMUNITY ACTION PROJECT
BUT IN PREPARATION FOR CONTRACTORS'
IMMINENT ARRIVAL, THE WOODLAWN
STAFF LAID PLANKING DIRECTLY OVER
OLD BRIDGE TO ADD TEMPORARY
STRENGTH.

THERE IS A SURFACE + SUBSURFACE (TOPSOIL/PLOW ZONE)
SCATTERING OF MIXED AGE. THIS IS ANOTHER
REASON TO FAVOR EITHER EROSION OR OTHER
MECHANICAL MEANS OF REMOVING PREVIOUS
TRACES.

30 OCT 1975

CONTRACTOR WORK ON PHASE I

PMC CONTRACTORS arrive, unannounced, to begin.

NO MATTER THAT I AM HAVING THE NEIGHBOR LADIES IN FOR COFFEE THAT AFTERNOON, I AM JUST VERY GLAD TO SEE THEM. WINTER HAS ALREADY SET IN, AND WE HAD PLANNED AND HOPED THAT WORK OF PHASE I WOULD BE COMPLETED BY NOW.

PMC REMOVED EAST PORCH FLOORING. ~~ARE~~

REMOVED ALL GUTTERS, DOWNSPOUTS, LIGHTNING-RODS AND CABLES AND SET ^{THEM} ASIDE TO BE REINSTALLED AFTER ROOFING & CHIMNEYS.

EAST PORCH ORIGINALLY WAS BUILT OF ~~FROM~~ LOG JOISTS ON BRICK PIERS WITH UNKNOWN FLOORING. SOMETIME SINCE THEN, SOME OF THE JOISTS HAD BEEN REPLACED AND LATER STILL, A CONCRETE STEP HAD

OCT 30-75

BEEN POURED AROUND IT ALL. PORCH FLOORING WAS PROBABLY NOT REMOVED WHEN THE STEP WAS ADDED SINCE FORMS APPEAR TO HAVE BEEN JAMMED UNDER, AND THE CONCRETE COLLAPSED SOME OF THEM. THE REMAINING LOG JOIST THAT WAS STILL SOUND WAS RETAINED.

31 OCT 75 ^{PMC} ALL OTHER FRAMING WAS REPLACED WITH NEW PRESSURE TREATED LUMBER. ~~THE~~ PORCH FLOORING NAILED DOWN WITH LIGHTWEIGHT CUT FLOORING ~~AND~~ NAILS. PMC REPLACED ROTTED VERGE BOARDS AT EAVES.

5 NOV 75 FORT BELVOIR: CPT SMOKER, MR. DAVIES, CPT BOOTH CAME BY TO SEE THE BRIDGE PROJECT. THEY SAY THEY WILL DO IT THIS FALL. JOB TIME 1 TO 1 1/2 DAYS, GIVING US PRIOR NOTICE SO WE CAN TELL WORKMEN (PMC etc.) PROBABLY BEFORE 14 NOV 75. THEY GOT HARDWARE (NAILS & SPIKES) FROM DAN GLEASON AND TOOK MY DRAWING OF THE BRIDGE.

GEORGE SMITH NOTIFIED US THAT THE CONTRACT HAS BEEN AMENDED TO INCLUDE ELEC. WORK, AND THAT PLUMBERS WILL BE HERE MONDAY SO WE NEED TO GET WALLS & CEILINGS OFF FOR THEM.

6 NOV 75 PMC JACKED HOUSE UP AND REMOVED NORTH FOUNDATION WALL, THE FOOTING AREA WAS EXCAVATED. THE FOOTING WILL BE 8" THICK AND WILL BE STEPPED  ONCE TO FOLLOW CONTOUR OF LAND.

GRIFFIN PLUMBING & HEATING CAME BY AND TOLD ME FOR SURE WHICH AREAS OF WALL AND CEILING NEED TO BE OPENED UP FURTHER. THEY DUG TRENCH FOR SUMP PUMP RUNOFF LINE (RUNNING \pm S.E. FROM EAST PORCH ^{N. CORNER.}), LAID PLASTIC PIPE AND BACKFILLED, TAKING CARE TO REPLACE TOPSOIL ON TOP.

THEY HAD TO CHIP OUT OLD SPILLAGE OF CONCRETE FOOTING FROM AROUND SOIL STACK AND DUG HOLE FOR SUMP PUMP IN N.E. CELLAR

7 NOV 75 GRIFFIN INSTALLED SUMP PUMP

PMC BEGAN PUTTING DOWN NEW PORCH FLOORING AND TRAP DOOR. THEY USED NEW ROUGH LUMBER TO TRIM INSIDE CELLAR DOOR TO COVER UP THE ^{NEW} PRESSURE TREATED FRAMING.

8:9 NOV 75 WE BEGAN TO TAKE DOWN WALLS & CEILING
IN DINING ROOM, TO MAKE ACCESS FOR
PLUMBERS.

DRYWALL HAS BEEN INSTALLED DIRECTLY
OVER HORIZONTAL BEADED TONGUE 
AND GROOVE BOARDS ON ALL WALLS
AND CEILING. MOST RECENT WALL FINISH OF
DRYWALL HAD QUARTER ROUND (1") IN ALL CORNERS
AND A 1x6 PLAIN BASEBOARD LAID OVER THE
BOTTOM EDGE, AGAIN WITH A 1" QUARTER ROUND.
BOTTOM EDGE OF DRYWALL RESTED ON ANOTHER
BASEBOARD, 1x6 WITH UPPER CORNER CHAMFERRED.
THIS CHAMFERRED BASEBOARD, PROBABLY THE
ORIGINAL, EXTENDS BELOW THE PRESENT
FLOOR. PRESENT FLOOR, WHICH WILL BE RETAINED,
IS NOT ORIGINAL. ^{NOTCHED} SILLS, VISIBLE IN CELLAR,
INDICATE SIZE & PLACEMENT OF ROUGHLY HEWN
OR TRIMMED LOG JOISTS OF ORIGINAL FLOOR.
T&G BEADED BOARDS REST ON THIS CHAMFERRED
BASEBOARD AS WELL. T&G BOARDS BUTT
UP TO TRIM AROUND DOORS AND WINDOWS.

AT CORNERS AND CEILING, ENDS OF T&G. BOARDS ARE ROUGHLY CUT & EXTEND INTO OPENINGS BETWEEN STUDS. THERE IS AN UNPAINTED ^{2" MARGIN} ~~AREA~~ AROUND DOOR & WINDOW TRIM; AROUND INSIDE CORNERS THERE IS A 1" MARGIN. THIS WAS PROBABLY ADDED TRIM TO CONCEAL GAPS AND NAILS SINCE WINDOWS & DOORS WERE TRIMMED OUT LONG BEFORE APPLICATION OF BEADED BOARDS. ACTIVE ROT IS ALL OVER N.E. QUADRANT OF CEILING (UNDER ~~THE~~ BATHROOM). CANNOT BE SAVED.

UNDERNEATH THE BOARDING, WE FOUND LATH MARKS ON STUDS & PLASTER KEYS BETWEEN STUDS. THERE IS JUST SPACE BEHIND TRIM AROUND DOORS AND WINDOWS TO SUGGEST THAT WHEN HOUSE WAS BUILT, THE LATH WAS PUT ON, ^{FINAL} TRIM AROUND OPENINGS WAS APPLIED, AND THEN THE ROOM WAS PLASTERED.

MR. FRED BRANDT, NTHP CARPENTER, RECOGNIZES THE T&G WALL & CEILING SHEATHING AS "SEALING" OR "CEILING"-BOARDS. HE SAYS IT WAS FREQUENTLY USED INTO THE 1930'S AND OFTEN TENANTS WOULD COVER IT WITH HEAVY WALLPAPER, TACKED ON WITH MATCHING TACKS RATHER THAN PASTED, SO THAT THEY COULD TAKE IT WITH THEM ^{the wallpaper} WHEN THEY MOVED.

I LIKE THE 'CEILING' BOARDS, BUT THIS ROOM SHOULD BE DRYWALLED TO "REPRODUCE" THE ORIGINAL PLASTER ROOM FINISH, ORIGINAL CHAMFERRED BASEBOARD TO STAY IN PLACE. DOOR & WINDOW TRIM REMOVED AND LABELLED. NOT ALL OF IT IS SOUND. WE WILL SAVE THE 'CEILING' BOARDS THAT ARE IN SATISFACTORY CONDITION, HOPEFULLY THEY CAN BE USED SOMEWHERE.

10 NOV 75 WITH WOODLAWN CREW, WE OPENED UP THE BATHROOM. UNDER LINOLEUM PATCHES, THE WOOD FLOOR HAD BEEN PATCHED, BUT MUCH FLOORING IS STILL ROTTED DUE TO LONG EXPOSURE TO LEAKING PLUMBING. WE REMOVED DRYWALL AND 1x6 BASEBOARD FROM ALL WALLS. LATH ~~WAS~~ HAD PREVIOUSLY BEEN REMOVED BETWEEN NORTH-MOST TWO STUDS OF EAST WALL TO PLACE SOIL STACK & VENT. NO LATH EVER WAS USED ON WEST PARTITION WALL, AND LATH OF NORTH WALL CONTINUED UNINTERRUPTED FROM HALL DOORWAY TO OUTSIDE WALL. IE, SOUTH BATHROOM PARTITION WALL MAY BE ORIGINAL, BUT WEST WALL IS NOT. SINCE PLATES ARE BELOW CEILING LEVEL IT WILL BE DIFFICULT FOR THE VENT TO GO THRU THE WALL INTO ATTIC & ROOF. PROBABLY THE BEST THING TO DO IS RELOCATE THE STACK TO THE EAST WALL AND JOG THE VENT PIPE AROUND THE PLATE AND BOX IN AROUND IT NEAR SLOPING SIDE-WALL.

10 NOV. 75 GRIFFIN PLUMBING RE-INSTALLED THE OLD KITCHEN SINK AFTER INSTALLING AN "INTERNAL VENT" UNDER THE SINK ON ITS DRAIN LINE, AND INSTALLING A NEW

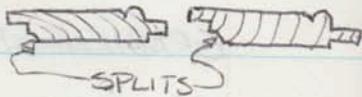
PLASTIC DRAIN LINE. PREVIOUS KITCHEN DRAIN AND VENT WERE EXPOSED ON HOUSE'S SOUTH EXTERIOR WALL. THE INTERNAL VENT ELIMINATES THE NEED FOR A VENT OUTLET ON THE ROOF, BUT CAN ONLY BE USED ON SINKS.

11 NOV 75 GRIFFIN-PMC-GEORGE SMITH AND I GOT TOGETHER TO DISCUSS PROBLEMS WITH THE EXISTING FLOOR JOISTS OVER THE DINING ROOM (UNDER THE BATHROOM) THE 2X6 JOISTS ARE CRACKED AT KNOTS, PARTIALLY ROTTED BY WATER, ^{DANGEROUSLY} NOTCHED UNWISELY FOR PLUMBING, SAGGING 2" AND MORE AND EACH HAS AT LEAST ONE SCABBED ON REINFORCING PATCH. IN ORDER TO RUN NEW DRAIN LINES FOR NEW BATHROOM FIXTURES, NEW STRAIGHT AND STRONG JOISTS (2X8'S) SHOULD BE PLACED. 2X8'S WOULD ALLOW FOR BETTER GRADIENT IN DRAIN LINES WITHOUT COMPROMISING STRUCTURAL STRENGTH AND ^{BY REMOVING} THE EXISTING SAG, CEILING HEIGHT WILL NOT BE AFFECTED. GEORGE SMITH, WITH PMC, WILL INVESTIGATE NEW EXPENDITURE AND CONTRACT DETAILS TO SEE IF WE CAN DO THIS.

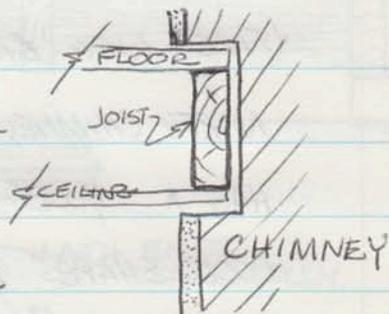
SO WE WILL HAVE TO REMOVE ALL WALLS AND CEILING IN DINING, AND STAIRWAY BEFORE NEW JOISTS CAN BE PUT IN. NEW JOISTS SHOULD GO IN BEFORE PLUMBING SO THAT JOISTS CAN BE DRILLED INSTEAD OF NOTCHED. GRIFFIN WILL DO THE REMAINING WORK IN REST OF HOUSE, BUT BATHROOM WILL BE INOPERABLE FOR SOME TIME. POSSIBLY NEW TUB SHOULD BE BROUGHT IN BEFORE PARTITIONS AND STAIRWAY ARE CLOSED IN AGAIN TOO.

13 NOV

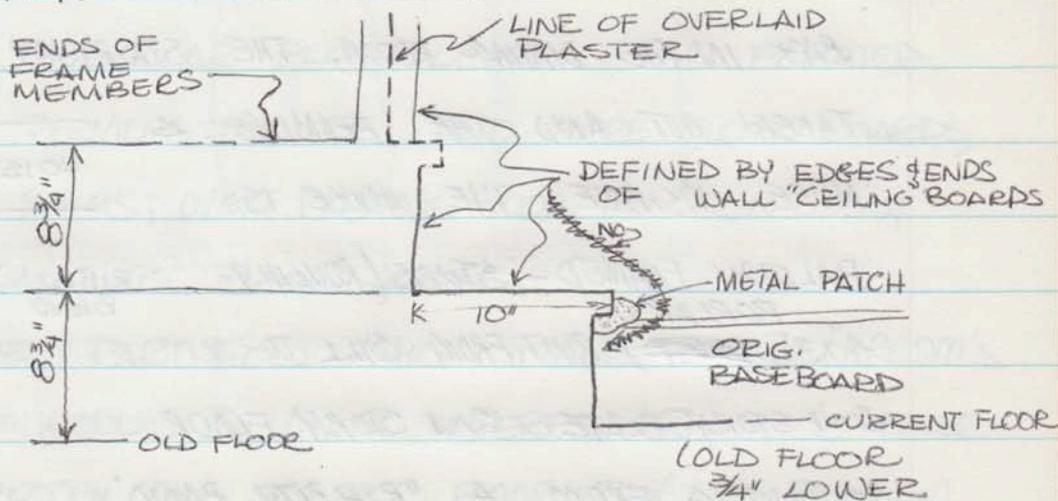
2 NOV 75 WE TOOK DOWN THE CEILING IN THE DINING ROOM. IN THE SOUTHWEST CORNER, THE ^{SHORT "CEILING"} _A BOARDS TO THE STAIRWELL OPENING ARE NAILED ON WITH 8 D WIRE NAILS, REST OF ROOM, EXCEPT FOR LATER REPAIR HOLES, IS DONE WITH CUT NAILS. BUT IN BOTH CASES THE UNEXPOSED EDGE OF THE GROOVED SIDE HAS BEEN SPLIT OFF LONG AGO. BOARDS ARE ALL FACE-NAILED AND TONGUES SHOW NO SIGN OF BEING PREVIOUSLY NAILED. THEREFORE IT IS UNCERTAIN IF THESE BOARDS HAD BEEN USED ELSEWHERE BEFORE. (SIDE WALL CEILING BOARDS WERE NAILED



THROUGH THE TONGUE WITH CUT NAILS, NOT FACE
 NAILED) DINING CEILING HAD ORIGINALLY
 BEEN PLASTER. AT CHIMNEY, THE
 FLOOR JOIST FOR UPSTAIRS, THE CEILING
 BOARDS FIT BACK INTO THE BRICK-
 WORK ~ 3" FROM FINISHED SURFACE



13 NOV 75 WOODLAWN STAFF FINISHED STRIPPING OFF
 DINING CEILING AND STAIRWAY PARTITIONS
 ON DINING ROOM NORTH WALL, THE "CEILING"
 BOARDS DELINEATE AN EARLIER STAIRS
 LOCATION - A CUT-OUT FOR THE BOTTOM 2 STEPS

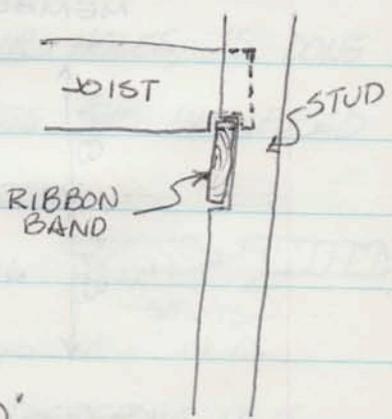


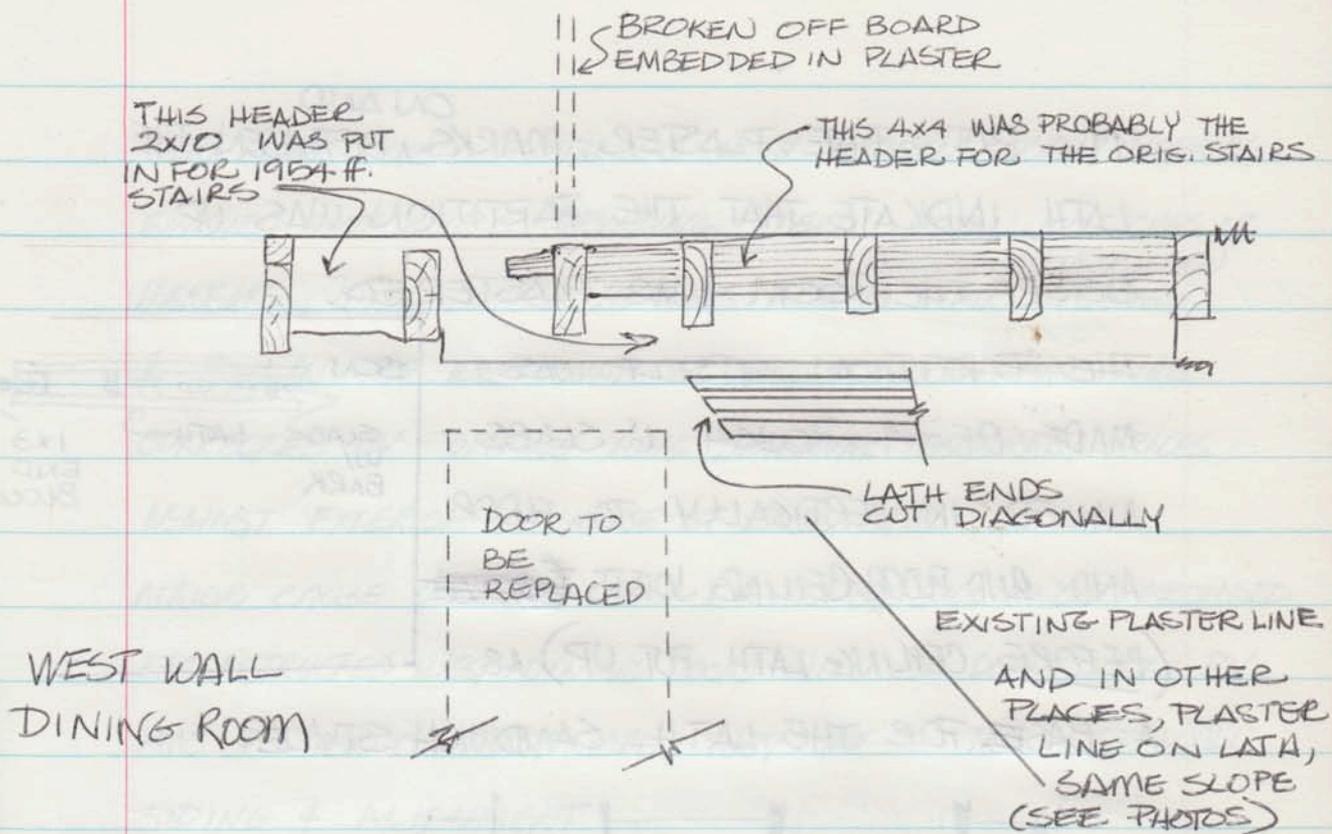
THE BRICKMASON ARRIVED, REPOINTED THE EXTERIOR OF STONE FOUNDATION, LAID NEW CONCRETE BLOCK (FACED WITH BRICK) NORTH FOUNDATION, REWORKED NORTH CHIMNEY FROM ROOFLINE UP. NORTH CHIMNEY HAS A 4" X 8" FLUE OPENING - UNLINED, BUT IN "QUITE GOOD SHAPE" AND CLEAN

THERE IS A 1" BOW IN NORTH HOUSE SILL, BUT STUDS AND JOISTS STILL HAVE SUFFICIENT BEARING SURFACE SO FOUNDATION WALL WAS BUILT TO FOLLOW THE SILL. NEW TERMITE SHIELD IS LAPPED. I THINK THAT'S NOT RIGHT, BUT WILL HAVE TO CHECK.

WEST DINING

BACK IN THE DINING ROOM, THE STAIRWAY HAS BEEN TAKEN OUT AND THE FRAMING IS MORE VISIBLE. THE HOUSE IS BALLOON FRAMED - STUDS (ROUGHLY POPLAR) 4" X 3" ~~STUDS~~ RUN FROM SILL TO 2ND STORY PLATE. 2ND STORY FLOOR IS HUNG FROM A "RIBBON BAND" (1X6) SET INTO THE STUDS. BOTH JOIST & RIBBON SLIGHTLY NOTCHED. STUD SPACING IRREGULAR TO FIT DOORS & WINDOWS 14 1/2" MIN TO 28 1/2" MAX THIS ROOM.





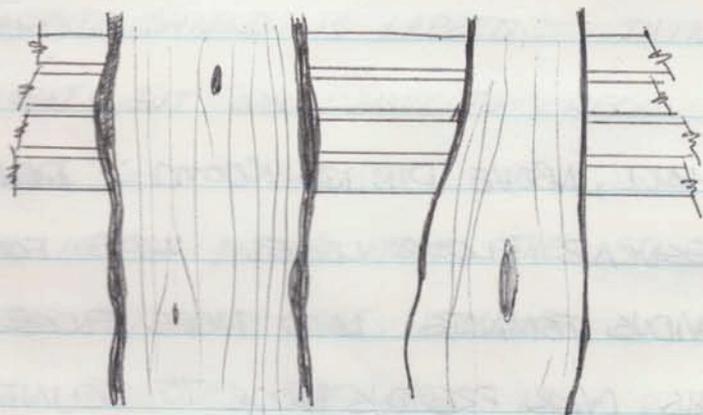
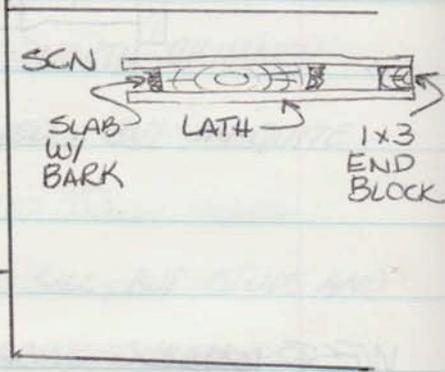
UPSTAIRS HALL, ABOVE DINING ROOM: DEMOLITION

THE IRREGULAR FLOOR LEVEL WAS FORMED
WHEN PREVIOUS TENANTS LAID MORE FLOOR BOARDS,
OVER SHIMS, OVER PREVIOUS FLOOR TO COUNTERACT
THE SAGGING FLOOR JOISTS.

THE PARTITION WHICH FORMS THE BATHROOM'S
SOUTH WALL IS QUITE INTERESTING, IT'S BASE
IS DIRECTLY ON EARLIEST FLOORING (T+G, RANDOM
WIDTH YELLOW PINE). WHERE IT JOINED THE EAST
WALL THERE IS NO BREAK IN THE LATH BEHIND

ON AND
IT, BUT THE PLASTER MARKS ^{ON AND} BETWEEN THE
LATH INDICATE THAT THE PARTITION WAS UP
BEFORE THE ROOM WAS PLASTERED.

THE PARTITION ITSELF WAS
MADE OF 4 ROUGH 1" SLABS
NAILED IN VERTICALLY TO FLOOR
AND AND FLOOR CEILING JOISTS ~~AS~~
(BEFORE CEILING LATH PUT UP) AS
A BASE FOR THE LATH - SANDWICH STYLE



(LATH SHOWN HERE
ONLY ON ONE SIDE)

IT. HAD TO BE REMOVED TO REPAIR FLOOR, AND COULD NOT BE REPLACED.

14 NOV 75 ^{WOODLAWN}
MARKED DINING ROOM TO ESTABLISH A LEVEL FOR

NEW JOISTS - IT IS BETTER TO HAVE IT A UNIFORM
HEIGHT FROM DINING FIN. FLOOR, SAYS MR BRANDT.

PLANNED DEVIATION ($\approx 5/8$ ") OFF OF TRUE LEVEL

NEW FLOOR JOISTS INSTALLED WITH MODERN CURRENT METHODS--
FINISHED PINE 2XB'S INCLUDING "TECO" METAL JOIST CUPS OR
HANGARS, WITH DOUBLE HEADERS AROUND STAIR OPENINGS.
PLANNED RECONSTRUCTION

A BOW IN THE WEST WALL AT SECOND FLOOR LEVEL WAS
CORRECTED BY DRIVING LONG DIAGONAL TEMPORARY BRACES
AGAINST EXTERIOR OF HOUSE AT EACH STUD BUT THE
MAJOR CAUSE OF THE BOW (A ROTTED SILL UNDER PROPOSED
RECONSTRUCTED WEST DINING DOOR) WILL BE DEALT WITH BY
PMC AS PER CONTRACT WHEN THEY ~~DO~~ DO THE WEST WALL
SIDING & ALIGNMENT

FORT BELVOIR 11TH ENGR. BN. REMOVED OLD
BRIDGE AND BUILT NEW TIMBER TRESTLE BRIDGE,
LEAVING OLD WOOD FOR US TO USE FOR FIREWOOD.
THEY FINISHED BY ABOUT 1 PM, MUCH FASTER THAN
THEY ESTIMATED.

PMC PLACED TERMITE SHIELD AND LOWERED THE
HOUSE ONTO ITS NEW NORTH FOUNDATION. THEY ALSO
FINISHED PLACING NEW FLOORING ON EAST PORCH
AROUND PLUMBERS DRAIN LINES. THEY SHORED UP
THE EAST PORCH ROOF TEMPORARILY IN PREPARATION

FOR ROOFERS AND FOR REPLACING MAIN HEADER.

NOV 15 75 (SAT.) BRICK MASONS REBUILT SOUTH CHIMNEY
FROM ROOF UP.

IT HAS A FLUE LINER. THEY CONFIRMED
THAT IT WAS NOT ORIGINAL (IN THE ATTIC,
THE CHIMNEY LOOKED TO ME AS IF IT HAD
BEEN RENOVATED).

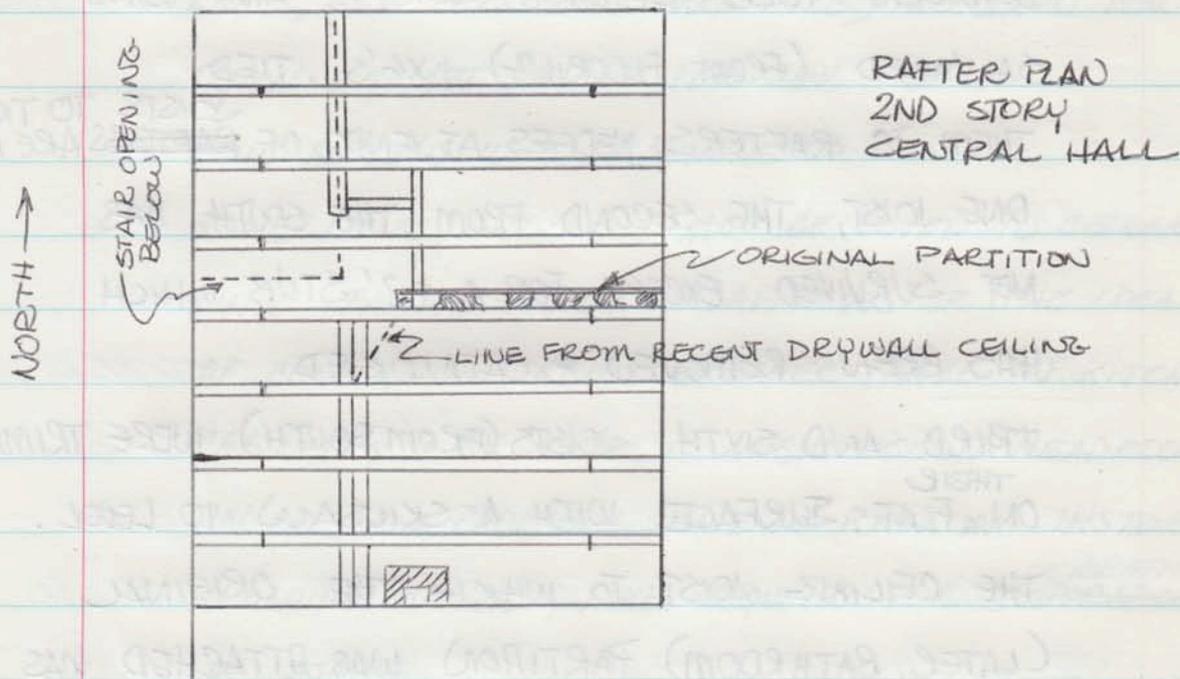
NOV 15 PLUMBERS RAN DRAIN LINES IN NEW
JOISTS FOR UPSTAIRS BATHROOM.

P.M.C. BACKFILLED AROUND NORTH FOUNDATION.
AND FINISHED REPAIRS TO PORCH POSTS & HEADER,
TRIMMED TRAP DOOR.

WOODLAWN (AND MR. BRANDT) FINISHED FLOOR
FRAMING, LAID $\frac{1}{2}$ " INTERIOR GRADE PLYWOOD SUBFLOOR
AND USING FLOORING SCRAPS, BRIDGED BETWEEN JOISTS.
THEY REMOVED CENTRAL HALL'S REMAINING WALLS AND
CEILING (DRYWALL; UNDER DRYWALL ON CEILING
ARE LATH MARKS) (LATH UNDER DRYWALL ON WALLS)
CEILING JOISTS ARE SIMPLE 3" POLES WITH ONE
SIDE ADZED OR CHOPPED MORE OR LESS FLAT.

NORTH ↑

TO ACCEPT LATH WHEN ORIGINALLY PLASTERED.
 ONE POLE CEILING JOIST HAD FAILED AND HAD
 BEEN REPLACED WITH 2 2x4'S; AND SHORT 2x4
 CROSS FRAMING HAD BEEN ADDED - PERHAPS FOR
 OTHER PARTITION WALLS



STAIRS AT ONE TIME HAD A SLOPING CEILING
 WHICH FOLLOWED UPPER PLASTER SCAR (SHOWN IN
 "BEFORE RESTORATION" MEASURED DRAWINGS), AND POSSIBLY
 ALSO A VERTICAL ENCLOSING WALL UPSTAIRS, BUT
 MAY OR MAY NOT BE ORIGINAL.

CEILING JOISTS WILL HAVE TO BE TIED
TO RAFTERS TO OBTAIN LEVEL SURFACE
& SUPPORT THE WEIGHT OF DRYWALL

NOV 75 WOODLAWN CREW REMOVED ALL 2x4'S FROM
BETWEEN POLE CEILING JOISTS, AND USING
SALVAGED (FROM FLOORING) 1x6'S, TIED
THEM TO RAFTERS; WEDGES AT ENDS OF ~~RAFTERS~~ ^{JOISTS TO TIGHTEN} ARE NEW
ONE JOIST, THE SECOND FROM THE SOUTH, HAS ^{TOO.}
NOT SURVIVED EXCEPT FOR A ~2' STUB WHICH
HAS BEEN REMOVED & CATALOGED.

THIRD AND SIXTH JOISTS (FROM SOUTH) WERE TRIMMED
^{THEIR} ON A FLAT SURFACE WITH A SKILSAW TO LEVEL.

THE CEILING JOIST TO WHICH THE ORIGINAL
(LATER, BATHROOM) PARTITION WAS ATTACHED WAS
SHAPED ON 2 SIDES (FOR PARTITION AND FOR
CEILING), ^{FURTHER} EVIDENCE THAT THE PARTITION WAS
ORIGINAL.

19 NOV 75

MR NEBLETT AND MR SMITH DISCUSSED WITH ME:

1. MR NEBLETT WOULD LIKE ANNOTATED ^{COPIES OF MY} PHOTOS OF ALL FURTHER WORK SENT TO HIM DOWNTOWN.
2. SINCE THE TRUST HAS FALLEN BEHIND SCHEDULE (SEE LEASE, AND CORRESPONDENCE FILE) WOODLAWN PLANTATION WILL NOT BILL US FOR NOV. RENT...
3. PAINT ANALYSIS WILL BE SCHEDULED
4. POWER (ELEC.) ENTRANCE MAY BE MOVED TO CELLAR SINCE FAIRFAX COUNTY DISAPPROVES OF THE IDEA OF CONCEALING CIRCUIT BREAKER PANEL IN KITCHEN CABINETRY - BUT THERE IS INSUFFICIENT HEADROOM IN CELLAR - PROBABLY HAVE TO RELY ON HISTORIC BUILDING WAIVER, LIKE REQUIRED FOR RESTORATION ^{-CREATION} OF STAIRS.
5. MR NEBLETT REVIEWED THE UNEXPECTED (IE. NOT IN ORIGINAL PROPOSAL) WORK ACCOMPLISHED ON CENTRAL SECTION, DINING CEILING JOISTS.

WOODLAWN CREW HUNG WATERPROOF DRYWALL BATH CEILING AND BEGAN NEW BATH PARTITIONS. AGAIN - ALL MODERN CONSTRUCTION TECHNIQUES BUT SOUTH BATH PARTITION TO BE ORIGINAL DIMENSIONS, NOT 5 1/2" THICK, LIKE STD.

NOV 75

DAN GLEASON DELIVERED INSULATION AND 6 SHEETS OF $\frac{1}{2}$ " DRYWALL. WOODLAWN CREW ADDED ANOTHER $\frac{1}{2}$ " PLYWOOD SUBFLOOR IN BATH (TO TOTAL 1") SHIMMED STUDS OF BATH OUT TO PLATE.

I PUT "WOODLIFE" TWO COATS ON NEW PORCH FLOOR.

NOV. 75 WOODLAWN CREW DRYWALLED & INSULATED (PARTIALLY) BATHROOM.

WINDOWS - FROM CENTRAL AND SOUTH SECTIONS OF HOUSE.

IN COMPARING SASH "STICKING" (THE MOLDING SHAPES OF THE MUNTINS), IT IS OBVIOUS SASH HAVE BEEN TAKEN OUT AND MIXED. TOP & BOTTOM MOLDINGS DO NOT MATCH; SOME ARE IN UPSIDE DOWN; THERE ARE 4 MILLED PATTERNS. EACH SASH CONTAINS SOME OLD GLASS AND SOME NEW. I WILL SORT, WITH MR BRANDT'S RECOMMENDATIONS AS TO SOUNDNESS & RE-USABILITY OF FRAMES, SO THAT STICKINGS MATCH WITHIN A ROOM. THE WOODEN SASH WILL

24 NOV 75

BE SCRAPED AND STRIPPED. THEN ALL OLD GLASS WILL BE REPOSITIONED TO MOST VISIBLE LOCATIONS. MR. BRANDT SAID THAT CHANNELLING THE SIDES FOR WEIGHTS OR ALUMINUM GUIDES AS CURRENT NEW STOCK WINDOWS ARE MADE WOULD BE UNWISE BECAUSE IT WOULD DIMINISH THE WOOD. BUT IF FRAMES & SASH ARE SHAPED TO FIT, WITH PROPER HOLDING STRIPS, THEN WINDOWS WILL BE CONSIDERABLY MORE WEATHER TIGHT THAN THEY ARE NOW.

24 NOV 75

MR. BRANDT BEGINS FITTING & REPAIRING WINDOW SASH
GRIFFIN PLUMBING ROUGHED IN FLEXIBLE COPPER
WATER SUPPLY LINES AND OUTDOOR SPIGOT. SPIGOT
WATER LINE IS 3' DEEP AT SPIGOT, TRAVELS
UNDER LOWER EDGE OF FOUNDATION AT CRAWLWAY.
IN THE BATH, SHOWER HEAD IS 6' RATHER THAN
STANDARD 6'-6" BECAUSE OF LOW CEILINGS.
PLUMBERS HAD TWO DIFFICULTIES. THE FIRST
WAS THAT TOILET WAS ROUGHED IN BEFORE

THE NORTH WALL WAS SHIMMED OUT TO THE PROTRUSION OF PLATE, SO THEY WEDGED THE DRAIN LINES OVER 1". SECONDLY, THE ENTIRE VENT STACK PROTRUDES BEYOND WALL LEVEL (NOT JUST THE ELBOW AROUND THE PLATE WHICH WE'D ALREADY PLANNED TO BOX IN) AND THEY ADJUSTED THAT.

WHEN I TOLD MR BRANDT ABOUT THE CONCRETE PIER UNDER THE KITCHEN FLOOR, HE THOUGHT IT MIGHT HAVE BEEN DONE FOR A WASHING-MACHINE, SO THAT IT COULD BE BOLTED DOWN SINCE EARLY WASHERS DID NOT HAVE BALANCED SPIN.*

3 NOV 75 ^{NEW} BATH TUB + TOILET (NEW, LAST YEAR) + NEW WATER METER INSTALLED,

DEC 75 MR SMITH CALLED - THE ELECTRICIAN NEEDS ACCESS TO ALL WALL AREAS DEC. 9.

* IN PHASE 2, WHEN KITCHEN FLOOR WAS REMOVED, WE DID DISCOVER BOLTS PROTRUDING FROM THE CONCRETE PIER.

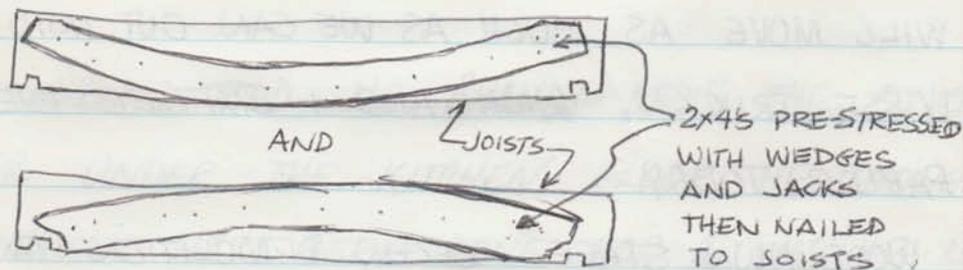
2 DEC.

THIS IS NOT QUITE AS WE'D HOPED. WE WANTED TO HAVE ONE ROOM DONE AT A TIME TO MINIMIZE DISTURBANCE TO LIVING IN THE HOUSE. WE WILL HAVE TO HAVE ONE OR TWO ROOMS IN WHICH TO STORE OUR PACKED HOUSEHOLD POSSESSIONS, IN WHICH TO SLEEP, TO COOK, TO KEEP WARM. WE WILL MOVE AS MUCH AS WE CAN OUT INTO MY HORSE TRUCK. WICK AND I EMPTIED THE PARLOR TODAY.

2 DEC. WOODLAWN STAFF BEGIN DEMOLITION - PARLOR. WICK & I PACKED THE GUEST ROOM & STUDY. PARLOR CEILING WAS CELOTEX (A ^{LOOSE} FIBER-BOARD 1/2" THICK) SHEETS WITH LATTICE BATTENS. CEILING HAD BEEN ORIGINALLY PLASTERED, AND LATH REMAINED UNDER THE CELOTEX. BOTH CELOTEX & LATH WERE REMOVED. CEILING JOISTS (FLOOR JOISTS FOR 2ND STORY) ARE IN GOOD CONDITION EXCEPT FOR ONE WITH A SPLIT THRU

A KNOT. ALL JOISTS, HOWEVER, SHOW A SMALL AMOUNT OF SAG, AND ESPECIALLY EASTERN JOISTS ARE SPRINGY WHEN UPSTAIRS FLOOR IS WALKED, OR BOUNCED UPON. JOISTS ARE ROUGH SAUN 2x6'S NOTCHED OVER RIBBON BAND.

AT MR BRANDT'S SUGGESTION, HE PLACED PRE-STRESSED 2x4'S ALONG EACH JOIST.



PARLOR WALLS WERE ALSO CELOTEX, WITH TAPED SEAMS, OVER LATH. LATH FITS BEHIND DOORS AND WINDOWS TRIM AND IS CONTINUOUS (EVEN NAILED TO A STUD) BEHIND THE PARLOR CHIMNEY. PARLOR FLOOR IS SOUND. EXPOSED FLOOR IS NOT THE ORIGINAL FLOOR. TWO LAYERS OF FLOOR CAN BE NOTED BY REACHING BEHIND THE BASEBOARD. FLOOR JOISTS ARE SUPPORTED BY

A LOG GIRDER RUNNING E-W THE LENGTH OF THE ROOM. JUST OUTSIDE THE BALLOON FRAME, "RESIN CORE" PAPER (FADED RED IN COLOR) WAS PLACED, JUST BEFORE GERMAN SIDING WAS APPLIED. RODENTS (MICE & SQUIRRELS ARE NOW IN ABUNDANCE HERE) HAVE DONE GREAT DAMAGE, AND ONLY SCRAPS REMAIN. THE HOUSE FRAME HAS DIAGONAL BRACING IN N.E. CORNER. (NO DIAGONALS IN DINING WALLS EITHER)

4 DEC 75 WOODLAWN STAFF BEGINS DEMOLITION IN STUDY AND GUEST ROOM

VEPCO CREW CAME TO STAKE THE LINE FOR (ELEC. & TELEPHONE) SERVICE ENTRANCE. WE HAD GIVEN THEM A SITE PLAN, BUT THEY DREW UP ONE WHICH IS ALL WRONG, AS REGARD TO CREEK AND BARNS SO ACTUAL PLACEMENT OF LINES WILL DEPEND ON WHERE THEY REALLY PUT IT. - I WILL ADD IT TO FINISH DRAWINGS

THE PARLOR'S S.E. CORNER POST IS ROTTEN UP TO 3' ABOVE FLOOR, PROBABLY ~~FROM~~ FROM PLUMBING LEAKAGE VIA PORCH

WOODLAWN STAFF- DEMOLITION OF STUDY, GUEST ROOM.
BASICALLY, ORIGINAL CONSTRUCTION MATCHES THAT OF
PARLOR (INCL. LATH BEHIND TRIM & BEHIND CHIMNEY).
WINDOW TRIM IN GUEST ROOM, HOWEVER, IS CEILING-
BOARD REPLACEMENT, NOT ORIGINAL.

WALLS AND CEILINGS WE REMOVED WERE DRYWALL.
ON CEILINGS, THE PREVIOUS LATH HAD BEEN REMOVED
BEFORE THE DRYWALL WAS INSTALLED. THE SMALL
ENTRANCE HALL TO THESE TWO ROOMS IS STILL
PLASTERED, WALLS AND CEILING, BUT SINCE BACKS OF
ALL WALLS ARE OPEN FROM OTHER DEMOLITION, WE
HOPE THIS POSSIBLY ORIGINAL WORK CAN REMAIN, WITH
ONLY MINOR PATCHING.

THE ENTIRE 1890'S ADDITION (SMALL HALL, STUDY &
GUEST ROOM) UPSTAIRS, WAS FLOORED IN ONE
EXPANSE, BUT PARTITIONS AS WE FOUND THEM IN
"BEFORE" DRAWINGS 1974, WERE PLACED BEFORE
ROOMS WERE PLASTERED. LATH WAS STAGGERED EVERY 7
ROWS. CEILING JOISTS ARE ROUGHSAW 2x4'S.

THE NORTH GABLE END OF THE ORIGINAL HOUSE

CAN BE SEEN FROM THE 1893 ATTIC. SIDING HAS TRACES OF WHITE PAINT.

WINDOWS OF THE 1893 ADDITION ARE SET LOWER IN THE NORTH WALLS THAN IN THE EAST & WEST WALLS. REASON UNKNOWN?

5 DEC. 15 ROOFERS BEGIN, ASKED IF THEY COULD WORK STRAIGHT THRU THE WEEKEND. I CO-ORDINATED WITH PMC SINCE PMC HAS TO THEN WORK SATURDAY TO GET NORTH ROOF SLOPE RE-SHEATHED FOR THEM.

6 DEC 15 PMC ON ROOF SHEATHING. IT WAS NOT ORIGINAL MATERIAL THEY WERE REPLACING - THEREFORE MATCHING REPLACEMENT NOT CRITICAL. WE OK'D THE USE OF 3/4" EXT. GRADE PLYWOOD.

7 DEC. FOUND SHINGLE FRAGMENTS WITH PAINT IN 1893 ATTIC. IT MATCHES NEW WORK INCLUDING AMOUNT OF SHINGLE EXPOSED. HOWEVER, NEW SHINGLES ARE KOPPERS TREATED TO RESIST FIRE.

8 DEC. VEPCO TREE-TRIMMING CREW IN FOR NEW
LINE. PMC USED GERMAN SIDING, LIKE WE
REMOVED, TO REPLACE SOUTH END OF PORCH (GAE)

9 DEC 75 VEPCO POLE SETTING CREW CAME BY
TO SEE WHAT WORK & TOOLS THEY'D NEED, &
WILL BE BACK PROBABLY MONDAY

VEPCO MOVES SERVICE ENTRANCE
STAKES FROM KITCHEN TO CELLAR AS
PREFERRED BY FAIRFAX COUNTY.

WE WERE
10 DEC. NOTIFIED BY GEORGE SMITH THAT STILL
NO ELECTRICAL PERMIT HAS BEEN APPROVED BY
THE COUNTY; THE ELECTRICIAN PREFERS NOT TO
START UNTIL HE GETS ONE. PMC IS NOW
APPLYING UNDER "COMMERCIAL" SINCE AS A
NATIONAL TRUST PROPERTY, IT IS NOT "RESIDENTIAL"

WE ARE GOING TO BE QUITE FIRM ABOUT NOT
HAVING DEMOLITION IN TWO SOUTH ROOMS
(KITCHEN AND BEDROOM) UNTIL THIS IS

17 DEC
CLEARED UP AND UNTIL IT WILL BE A QUICK MATTER
OF 2 OR 3 DAYS BEFORE WE CAN INSULATE,
IF NOT ENCLOSE, THE WALLS AGAIN. COOKSTOVE
IN KITCHEN IS OUR ONLY HEAT.

11 DEC 75 VEPCO TRIMMED TREES

ROOFERS FLASHED THE ROOF. GEORGE SMITH
CONFIRMED MY QUESTION THAT COPPER MATERIAL
AND CHIMNEY FLASHING (NOT SET INTO MORTAR)
ARE NOT TO SPECIFICATIONS. APPARENTLY
THE SUB-CONTRACTING HAS NOT INCLUDED
THE ORIGINAL PLANS, AND WHILE THE CON-
TRACTOR, PMC, FULLY UNDERSTANDS ABOUT
WORK ON HISTORIC BUILDINGS, THEIR
SUBCONTRACTORS ARE OCCASIONALLY IRATE
AND FRUSTRATED WHEN WE WANT OTHER
THAN 1975-STANDARDS. ESPECIALLY SINCE
THE BIDDERS AND WORKERS HAVE NOT SEEN THE
PLANNED SPECIFICATIONS, WITH ITS STIPULATIONS
ON WORK QUALITY & EXACTNESS OF REPLICATION

12 DEC 75 VEPCO DELIVERED 3 POLES, DECIDED
BECAUSE OF HEAVY MUD & TOPOGRAPHY THAT
THEY 'D HAVE TO DIG ALL ^{POLE-HOLES} ~~POLES~~ BY HAND.

15 DEC. ROOFERS FINISH. I PHONED PMC-ELECTRICIAN
WILL BEGIN 17 TH. THE ACTUAL BUILDING PERMIT
WAS GRANTED 12 DEC 75, TODAY THE ELECTRICIAN
WILL APPLY FOR HIS.

16 DEC 75 VEPCO POLE SETTERS FINISHED UP TODAY.
ROOFERS CLEANED UP, ANOTHER SET OF WORK-
MEN FROM SAME COMPANY WILL COME TO DO COUNTER
FLASHINGS LATER. PAT PADBERG OF PMC BROUGHT
THE BUILDING PERMIT TO BE DISPLAYED, AND
SAID THAT WHEN ELECTRICIAN DID ARRIVE TO-
MORROW, WE COULD MODIFY THE ELECTRICAL
PLAN AND ESTABLISH A WORK SEQUENCE. (THIS IS
NECESSARY BECAUSE ORIGINAL DRAWINGS FOR
PROPOSAL WERE BASED ON FORCED AIR HEAT
AND NOW BOX PLACEMENT IS TO BE CHANGED).

17 DEC 75 PLUMBING ROUGH-IN INSPECTION PASSED.
MR BATTEN AND STANLEY CUT DOWN A TREE
THAT CRAMPED THE DRIVEWAY. WOODLAWN
CREW REMOVED SOUTH KITCHEN CABINETS &
COUNTERS, BACK TO, BUT LEAVING ORIG. WOOD WALLS

18 DEC 75
ELECTRICIAN (EDDIE WARD of JANNIS ELECTRIC)
ARRIVED. AFTER CONFERRING WITH PMC &
MR SMITH & ME, HE AGREED TO MOVE SERVICE
ENTRANCE PANEL, BOX AND SWITCH LOCATIONS
WERE ALSO REVISED TO CONFORM TO COUNTY
CODES. RICHARD EWALD (OWNER of JANNIS ELEC.)
CAME BY AND IT WAS DECIDED THAT IN ORDER
TO REDUCE HOLIDAY DELAYS, HE WOULD GET THE
ROUGH-IN INSPECTION MON. OR TUES IF WE COULD
GET KITCHEN AND BEDROOM WALLS OFF IMMED-
IATELY. THEN WE COULD GO AHEAD AND CONCEAL
WIRING WITH INSULATION AND DRYWALL AT OUR
OWN SPEED. WOODLAWN WILL DO DEMOLITION IN BEDROOM
FRIDAY, WALKERS WILL TAKE DOWN KITCHEN CEILING-

OVER THE WEEKEND AND WOODLAWN CREW WILL
TAKE DOWN KITCHEN WOOD WALLS MON. FIRST THING
SO ELECTRICIAN CAN GET THAT DONE BEFORE
INSPECTION.

19 DEC. WOODLAWN BEDROOM DEMOLITION: CEILING JOISTS
ARE SAWN, ALREADY TIED TO RAFTERS, 3 STUDS
IN WEST WALL ARE NEWER 2x4's, REPLACED PROB.
ABLY AFTER 1968 FIRE. THE ELECTRICIAN WIRED,
WOODLAWN PUT UP CEILING AND INSULATION
IMMEDIATELY.

21 DEC WE (WICK & I) TOOK DOWN KITCHEN CEILING - THIS
FIRST WHITEWASH, THEN BLUE
SURFACE TWICE PAINTED, - NOT ORIGINALLY
ENCLOSED. LEFT WITH EXPOSED JOISTS.

30 DEC: 75 KITCHEN DEMOLITION
UNDER RANDOM ~~W~~ WIDTH PLAIN CEILING
(ACTUALLY YELLOW PINE FLOOR BOARDS USED ON
WALLS) THE SOUTH WALL OF KITCHEN HAS
TWO DIAGONAL 1x6 BRACES. STUDS UNDER
BOARD WALLS SHOW ONLY NAIL HOLES FOR THIS WALL TREATMENT.

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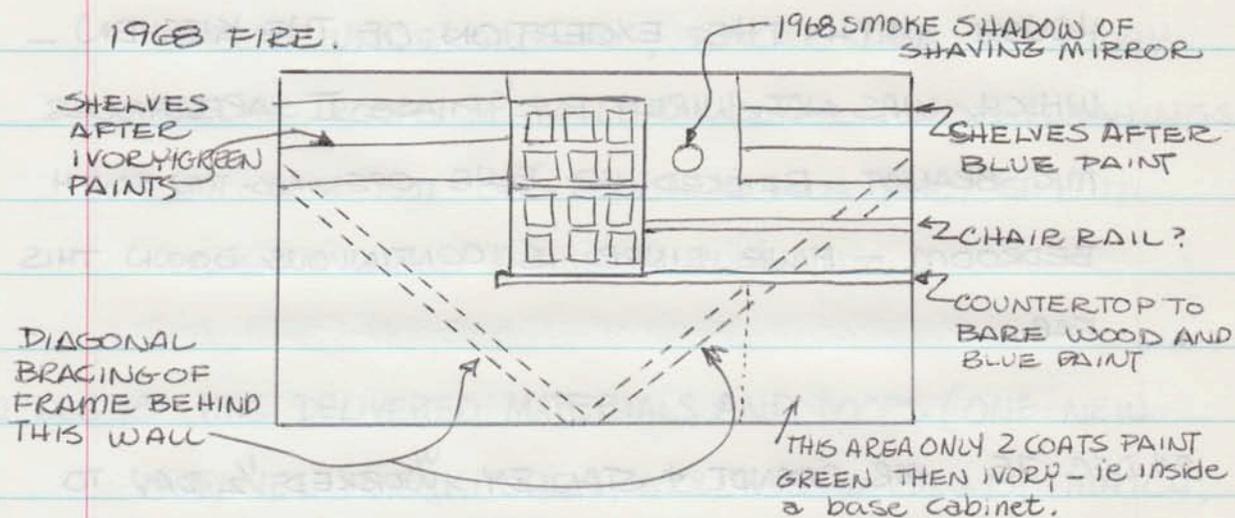
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SOUTH KITCHEN WALL - LAYERINGS OF PAINT INDICATE WHAT WAS ADDED, FROM ORIGINAL TO 1968 FIRE.



WEST WALL IS ALL NEW CONSTRUCTION, DATING FROM AFTER THE 1968 FIRE. EAST & NORTH WALLS SHOW A CHAIR RAIL ABOUT 4' FROM FLOOR - THIS IS A BIT HIGH FOR REGULAR CHAIR RAIL.

THERE IS A SIMPLE WIRE HOOK IN CEILING CENTERED ABOVE S. WINDOW - FOR AN OIL LAMP?

ESTIMATED COLOR SEQUENCE OF WALLS

MOST RECENT: "GSA GREEN", IVORY, RED (FADED, BURNED & BLEEDING MANY SHADES), DK. DULL GREEN, IVORY, TURQUOISE, LT. GREEN (TURNED DK BRIGHT GREEN IN DARK PARTS OF WOOD GRAIN), BARE WOOD

23 DEC 75 INSULATED ENTIRE KITCHEN
ELECTRICAL INSPECTION (1 PM) PASSED ENTIRE
HOUSE WITH THE EXCEPTION OF THE KITCHEN -
WHICH WAS NOT WIRED FOR PHASE II APPLIANCES
MR BRANDT BRICKED UP FLUE OPENING IN SOUTH
BEDROOM - FLUE LINER IS CONTINUOUS DOWN THIS
FAB.

30 DEC 75

24 DEC 75 MR BRANDT + STANLEY WORKED 1/2 DAY TO
HAVE US CLOSED IN (DRYWALL + INSULATION)
FOR CHRISTMAS.

C&P TELEPHONE COMPANY, AT MY REQUEST - THIS IS
NOT HANDLED IN CONTRACT, PRE-WIRED 3 PLUGS
FOR TELEPHONES - WIRING WITHIN THE WALLS.

29 DEC 75 PMC MEASURED FOR WEST DINING DOOR + STAIRWELL
PLAN HAD TO BE CHANGED AFTER WE FOUND MARKS
ON STUDS THAT INDICATED WINDERS, RATHER THAN
A SQUARE LANDING. IT WILL BE A TIGHT FIT
GETTING STAIRS TO CLEAR DOOR.

VEPCO CREW BACKHOED AND COMPLETED ALL TRENCHING, LAID POWER AND TELEPHONE CABLES UNDERGROUND, BACKFILLED DRIVEWAY. CEDAR ROOFS OF MCLEAN CAME TO DO FLASHINGS BUT WILL NOT DO PORCH SINCE THEY SAY IT DOESN'T NEED A HEAD FLASHING.

30 DEC 75 PMC DELIVERED MATERIALS AND DOORS (ONE NEW 4-PANEL FOR ^WKITCHEN, MOLDING DOES NOT MATCH; AND ONE WHICH WE FOUND IN THE CORN-CRIB LOFT IN 1975 WHICH THEY RE-GLUED. THEN THEY TORE OUT WEST CENTRAL SIDING (SOME OF IT PATCHED WITH PACKING CRATE 1x6's) TO CLEAR AREA AROUND DOOR & SILL, REPLACED SECTION OF ROTTED SILL UNDER DOORWAY, PUSHED SILL BACK INTO BETTER, (BUT IMPOSSIBLE TO GET PERFECT) ALIGNMENT AND FRAMED IN THE FLOOR AREA TO BE PATCHED.

31 DEC 75 VEPCO CREW INSPECTOR/SUPERVISOR SAID
THEY WILL BRING IN GRAVEL TO PUT OVER
MUD IN DRIVEWAY CAUSED BY THEIR
TRENCH.

2 JAN 1976 1 DREW UP SEVERAL POSSIBLE
STAIRWAYS. WILLIE MAYS (of PMC) AND I
DECIDED ON 1 STEP IN DINING ROOM, 4
WINDERS, 5 STEPS IN MAIN RUN. TREAD
RUN $8\frac{1}{2}$ " (AT WINDERS ~ 18 " RADIUS $8\frac{1}{2}$ " RUN)
RISER HEIGHT $8\frac{9}{16}$ " APPROX. - IT DOES NOT
DIVIDE EVENLY)

3 JAN (SAT.) WILLIE MAYS WORKED EXTRA TO CATCH UP ON
TIME LOST FIGURING OUT THE STAIRS.

5 JAN 76 PROJECT SIGN ARRIVED

MR SMITH APPROVED THE IDEA TO PUT A SMALL
CLOSET UNDER THE STAIRS BY RE-USING THE
1968 SIX PANEL KITCHEN DOOR, CUTTING IT
DOWN TO $5'8"$ AND 4-PANELS.

VEPCO BACKFILLED, NOW THAT GROUND IS FROZEN
AND THEY CAN GET THEIR MACHINES IN. ALSO
INSTALLED TRANSFORMER BUT NO POWER CAN
BE TURNED ON YET.

6 JAN 76

7 JAN 76

6 JAN 76 GEORGE SMITH APPROVED PURCHASE OF
AND PRIMER
STRIPPER FOR ME TO STRIP DOORS & WINDOWS
AND, WEATHER PERMITTING, PRIME NEW WORK.
WE HAVE INSISTED ON REPLACEMENT SIDING
BEING 100% ACCURATE: RECTANGULAR SECTION
YELLOW PINE $3\frac{3}{4}$ " X $6\frac{1}{2}$ " ACTUAL. THIS HAS
HELD PMC UP CONSIDERABLY. PMC HAS
NOW FOUND ANOTHER SOURCE OF NOMINAL 1X8
WHICH WILL HAVE TO BE RE-MILLED TO CUT IT
DOWN TO THE PROPER SIZE. WHEN IT COMES,
I WILL PRE-PRIME ALL SIDES OF IT BEFORE
INSTALLATION.

GEORGE ASKED ME TO BEGIN WRITING
SPECIFICATIONS FOR PHASE TWO - IE
KITCHEN, BATHROOM TILE, DRYWALL TAPING,
FENCING, LANDSCAPING, ETC. . .

ELECTRICIAN BEGINS INSTALLATION OF
CIRCUIT BREAKER PANEL.

7 JAN 76 ELECTRICIAN - BATHROOM FAN-LIGHT
INSTALLED, WORKED ON SERVICE ENTRANCE
PIPE, CEMENTING IT INTO WALL IN CELLAR

NOTE: DURING THIS PERIOD, MR BRANDT AND STANLEY ARE INSULATING AND DRYWALLING- AND PMC CARPENTERS WILLIE MAY'S AND DENNY ARE WORKING ON EXTERIOR SIDING AND TRIM. ~~LAW~~ I AM STRIPPING ALL WINDOWS, DOORS, TRIM AND REGLAZING SASH.

9 JAN 76 WEST KITCHEN DOOR IS NEW, THE LOCK IS SALVAGED FROM THE BARNYARD.

10 JAN 76 SAT. PMC-WILLIE AGAIN WORKING-OVERTIME. I WORKED ON THE GUTTERS. ^{HOUSE PROBABLY HAD NONE.} THEY ARE NOT ORIGINAL^A, BUT ON NAT NEBLETT'S ADVICE, WE DECIDED THEY SHOULD BE RETAINED TO HELP PRESERVE THE EXTERIOR FROM WATER DAMAGE. THEY ARE SEMI-CIRCULAR, GALVANIZED IRON AND WHERE THEY HAD BECOME CLOGGED, INTERIOR RUST HAD PITTED THEM AND SMALL LEAKAGES HAD OCCURRED. TO REMEDY THESE, ON MR BRANDT'S SUGGESTION, I WIRE-BRUSHED THE INTERIORS, PATCHED

12 JAN 76

13 JAN 76

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15 THE HOLES WITH A COMPOSITION TAR MIXTURE AND FINE MESH FIBERGLASS CLOTH. WHEN THIS DRIED, THE ENTIRE INTERIOR OF ALL GUTTERS WERE PAINTED WITH "DE-RUST-O" PAINT SPECIALLY FOR GALVANIZED IRON.

DRIP CAPS REPLACED BY DMC CONTRACTORS WERE MADE FROM GERMAN SIDING. ALTHOUGH GERMAN SIDING WAS NOT USED ON THE HOUSE AS SIDING UNTIL ~1893, GERMAN SIDING AS DRIP CAPS WERE ON THE EARLIER HOUSE. WHETHER THESE WERE ADDED AFTER ORIGINAL CONSTRUCTION IS NOT KNOWN.

12 JAN 76 JANNIS ELECTRIC. FINISHED ELECTRICAL PANEL.

13 JAN 76 VEPCO'S FIELD SUPERVISOR ASKED HOW SOON THEY COULD CHANGE OVER TO NEW ELECTRICAL SERVICE SYSTEM. [THERE IS NOW ONLY ONE OPERABLE OUTLET LEFT OF EARLIER ELEC. SVC, JUST BY ^{OLD} A PANEL IN ~~THE~~ KITCHEN.]

14 JAN 76 FAIRFAX COUNTY ELECTRICAL
INSPECTOR, MR. CRABTREE CAME. HE
KNEW NOTHING ABOUT THE HISTORICAL
BUILDING WAIVER ABOUT HEADROOM IN
CELLAR BY PANEL 50 WOULD NOT PASS
US ON FINAL INSPECTION. ALSO HE
~~HE SAID HE WOULD NOT PASS US~~ DIS-
APPROVED GROUNDING TO WATER LINES
AFTER THE WATER METER. SAID IF
THEY (FUTURE TENANTS) EVER TOOK THE
METER OUT, THE SYSTEM WOULD HAVE
NO GROUND. HE ALSO WANTED TO SEE
THE METER. - CATCH 22.

THE SUPERVISOR FROM CEDAR ROOFS
CAME BY TO SEE WHAT THE COMPLAINTS
ABOUT FLASHINGS WERE ALL ABOUT. HE
HAD NOT SEEN OUR SPECS. EITHER. SO
HE CALLED PMC TO CHECK WHAT PMC
STILL WANTED HIM TO DO.

15 JAN 76

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15 JAN 76 NORTH END OF PORCH ROOF WAS
COUNTER-FLASHED BY "CEDAR-ROOFS" AND
PAT PADBERG CAME BY TO PERSONALLY BE
SURE THE WORK WAS DONE TO HIS SATISFACTION.
FOR PHASE II, PAT ASKED ABOUT KITCHEN
SPECS. TO GET AN UNDERCOUNTER RE-
FRIGERATOR AND FREEZER TO FIT, COUNTER-
TOP MUST BE FIN. HT. 36". THERE IS
NO GOOD WAY OF FUDGING OR GETTING
AROUND THIS STANDARD DIMENSION. UN-
FORTUNATELY THE SOUTH KITCHEN WINDOW
THEN WILL NOT CLEAR THE COUNTERTOP.
WE AGREED IT WOULD, HOWEVER BE FEASIBLE
TO RAISE THE ENTIRE WINDOW ~ 3"
WITHOUT DAMAGING PROPORTIONS OBVIOUSLY.
AND THIS WOULD REQUIRE A MODIFICATION
OF SPECS SINCE WINDOW SHOULD
BE MOVED BEFORE DR WHILE THEY (PMC)
~~AB~~ ARE REPAIRING SOUTH WALL EXTERIOR
SIDING AND WINDOW TRIM. I WILL
INITIATE A REQUEST FOR THE MODIFICATION.*

*SEE JAN 20 FOR "REQUEST-DENIED"

THREE VEPCO CREWS WORKED HERE TODAY. ONE ADDED GRAVEL OVER AREA OF DRIVEWAY WHICH WAS DISTURBED WHEN THEY TRENCHED. TWO OTHER CREWS TIE IN THE TRANSFORMER AND NEW OVERHEAD POLE LINE. (APPARENTLY VEPCO GOT THEIR O'K' FROM FAIRFAX CO.)

17 JAN 76

(FRI) (WITH NEW WOOD)
AN 16 76 MR BRANDT PATCHED BASEBOARD IN NW CORNER OF DINING ROOM WHICH WAS DAMAGED BY GRIFFIN PLUMBING. ED OF JANNIS ELEC. TESTED CIRCUITS AND INSTALLED WALL PLUGS & SWITCHES. YES, THE ^{COUNTY} INSPECTION WAS PASSED, POWER WILL START ON NEW LINE ON MONDAY. (Jan 19)
TELEPHONE IS STILL NOT HOOKED UP ED SUGGESTED THAT HEATERS SHOULD NOT BE INSTALLED UNTIL DRYWALL IS TAPED, FINISHED, AND PAINTED. I ASKED GEORGE SMITH ABOUT THIS, THEN RICHARD EWALD, AND WAITING 'TIL AFTER PHASE II (FINISHING THE

DRYWALL) WILL PREVENT THEM FROM FINISHING, AND GETTING PAID FOR, PHASE I.

17 JAN 76 WICK AND I WENT TO GENERAL WRECKING-
TO FIND AN OLD 4-PANEL DOOR FOR THE
NEW BATHROOM (OLD BATHROOM HAD A
LIGHT, OBVIOUSLY 1940-ISH 2 PANEL
DOOR WHICH WAS NOT SUITABLE)
WHICH WE FOUND AT LAST. THEY HAD
NO SUITABLE REPLACEMENT WINDOW SASH.
WE ALSO WENT TO GEORGETOWN AND
WERE DISMAYED TO LEARN THAT OUR
SOURCE OF OLD RIMLOCKS (ANTIQUES + ARTISANS)
HAD GONE OUT OF BUSINESS. ALSO WE
STOPPED AT ACME STOVE COMPANY, WHERE
WE HAD FOUND OUR COOKSTOVE, IN THE
HOPE THAT THE PARLOR STOVES WERE
STILL THERE. (THEY ^{THEN} HAD HAD 2 PER-
FECT ONES FOR \$125⁰⁰ EA., BUT WE
DIDN'T HAVE THE CASH UNTIL THE
TRUST ASSURED US THEY WOULD REIMBURSE

US, WHICH THEY STILL HAVEN'T) - BUT THE
TIME FOR GETTING THE ^{PARLOR} STOVE WAS GETTING
CLOSE. THOSE STOVES WERE GONE, AND
THE PARLOR STOVES THEY NOW HAD FOR
SALE WERE NOT AS APPROPRIATE, AND
COST \$300 TO \$400.

AT A FLEA MARKET IN GEORGETOWN,
WE MISSED BUYING ONE FOR \$138⁰⁰ BE-
CAUSE WE COULD NOT REACH ANYONE
AT THE TRUST TO APPROVE THE PURCHASE,
AND IT WAS SOLD 30 MIN. LATER TO SOMEONE
ELSE. PURCHASE ORDERS AND OPERATING
THRU BUDGETARY CHANNELS JUST WILL NOT
WORK FOR THIS KIND OF OPPORTUNISTIC SHOPPING.

MON JAN 19, 1976

MR. BRANDT, IN INSTALLING OLD TRIM AROUND WINDOWS
DISCOVERED THAT IT WAS NECESSARY TO ROUT OUT
PART OF BACK OF TRIM WOOD TO GET A GOOD
JOINT WITH BOTH DRYWALL WALL AND WINDOW
FRAME.

NEW METER AND NEW SERVICE CONNECTED BY VEPPO.

20 JAN 76 NAT NEBLETT SAYS THE S. KITCHEN WINDOW CANNOT BE MOVED, BECAUSE IT JEOPARDIZES THE ACCURACY OF THE EXTERIOR RESTORATION AND NATIONAL PARKS SERVICE FUNDS ARE INVOLVED.

RICHARD EWALD DELIVERED HEATERS (8:30 PM) FOR INSTALLATION TOMORROW

21 JAN 76 EVEN WHEN WE HAVE RUNNING WATER, WE DON'T HAVE RUNNING WATER! THE KITCHEN SUPPLY AND DRAIN LINES ARE FROZEN AGAIN. WE HAVE HEATER TAPES AND INSULATION, AND AN ^{PORTABLE} ELECTRIC ROOM HEATER GOING IN THE CELLAR (VERY EXPENSIVE TO RUN!) AND EVERYPLACE WE CAN REACH BUT NOT UNDER THE KITCHEN, BECAUSE YOU CAN'T GET THERE WITHOUT TAKING THE FLOOR UP (WHICH IS PHASE II, WHICH ISN'T APPROVED YET). EVEN THE NEW KITCHEN DRAIN LINE IS FROZEN BECAUSE IT CAN'T BE GOT AT TO STRAP IT UP, AND IT HAS,

BEING PLASTIC, DEVELOPED A SAG, WHERE
IT IS NOW FROZEN. BUT, ONCE THE LEAKS
IN THE SUPPLY LINE WERE LOCATED, AT LEAST
I DIDN'T MIND THEM CUTTING ANOTHER
SMALL ARM-SIZED HOLE IN THE ALREADY
ROTTEN FLOOR, TO FIX THE LEAKS. WE ADDED
MORE INSULATION AS FAR AS WE COULD
REACH BUT NOTHING IS REALLY GOING TO HELP
UNTIL PHASE II.

MR. BRANDT + STANLEY, SPOT-WORK TO
BE SURE DRYWALL AND TAPING ARE
DONE ENOUGH IN EACH ROOM SO THAT
ELECTRICIAN CAN INSTALL THE HEATERS
TODAY.

ON 22/23/1 WENT TO THE PNC WAREHOUSE/SHOP
TO PRIME THE SIDING WHICH HAS
JUST ARRIVED BACK FROM BEING
RE-MILLED. IT IS COLD, UNHEATED,
THERE, SO I HOPE THE PRIMER
DRIES OK EVENTUALLY

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23 JAN 76 WATER MAIN ON FORT BELVOIR BROKE.*

WE LOST WATER PRESSURE, COULD NOT KEEP
KITCHEN WATER RUNNING, HOT WATER
LINE UNDER KITCHEN FLOOR FROZE ↓

SPLIT. SO I HAVE ANOTHER HOLE IN
MY KITCHEN FLOOR.

MR. BRANDT'S LAST DAY HERE FOR "A WEEK".

26 JAN 76 GRIFFIN PLUMBING INSTALLED NEW
BATHROOM SINK AND VANITY.

ELECTRICIAN FINISHED UP EXCEPT FOR
WORK WHICH REQUIRES PARTS HE CAN'T
GET YET, OR WORK WHICH IS DEPENDENT
ON PHASE II (ie KITCHEN)

I AM HAVING A VERY HARD TIME FINDING
RIMLOCKS, LIGHT FIXTURES, CUPBOARD LATCHES,
HINGES, WALLPAPER, WELL PUMP

*

WOODLAWN PLANTATION GETS ITS WATER FROM
FORT BELVOIR.

WED 28 JAN TO 5 FEB 1976

NO WORKMEN, NO ANYBODY. AND THO
THERE IS A LOT OF STUFF AND RUNNING-
AROUND TO DO, I DARE NOT LEAVE THE
HOUSE, FOR NOBODY HAS SAID THEY WON'T
COME. CABIN FEVER, COLD, FLU-ISH. I
DON'T KNOW WHY I FEEL I HAVE TO BE
HERE EVERY MINUTE. WORK CREWS ARE
HERE, AND YET WHEN I'M HERE I'M
OUT OF THEIR WAY MOST OF THE TIME AND
IF I'M GONE, EVEN JUST TO GROCERY-
SHOP OR GO TO THE LAUNDROMAT, SOME-
THING GOES WRONG OR SOMEBODY NEEDS
A DECISION...

FEB 76 PMC BEGINS THE WEST WALL. THE WIND
HAS BEEN BLOWING THRU THE SIDING FOR MONTHS,
AND I HAVE TO KEEP TACKING SIDING BOARDS
BACK UP TO LESSEN THE WIND BLOWING THRU,
BUT THIS- NO SIDING- IS WORSE, (TAKING THE
OLD DOWN TO PUT THE NEW UP) ESPECIALLY

SINCE THE COOKSTOVE, AND HEAT, IS ONLY
IN THE KITCHEN. (WE CAN'T TURN ON THE
PARTIALLY INSTALLED ^{ELEC. BASEBOARD} HEAT YET.

MR. SMITH APPROVED THE SUGGESTION THAT
SIDING ON WEST WALL NOT ^{SHOW A} BREAK AT JUNCTION
OF DINING ROOM AND KITCHEN BECAUSE THE
ADDITION BREAK LINE IS RETAINED ON
EAST WALL AND AN UNBROKEN SURFACE
GIVES BETTER WEATHER PROTECTION TO
THE BUILDING.

7 FEB 76 PMC WORKS THRU THE WEEKEND TO
GET WEST WALL CLOSED BACK UP SO WE
CAN GET WARM AGAIN. THERE IS A HORRIBLE
FIERCE PENETRATING WIND BLOWING TODAY.
I REALLY PITY THEM. THEY HAVE TO STOP AND
WARM UP EVERY HALF HOUR. THANK GOODNESS
FOR THE STOVE. WE KEEP COFFEE ON FOR THE
WORK CREWS AT ALL TIMES, BUT TODAY IT
AND HOT SOUP WERE INDISPENSIBLE.
WHY IS IT THAT THE WEATHER JUST WILL NOT
COOPERATE?

9 & 10 FEB - PMC TRIMMED WEST WALL. I AM NOT
HAPPY ABOUT THE ACCURACY OF THE W.
KITCHEN WINDOW (ca. 1968-1969) ADAPTION.

PAT PADBERG ASKED FOR A LIST OF YET-
TO-BE-COMPLETED ITEMS (PHASE I CONTRACT)

13 FEB 76

1. PATCH EAST PORCH SIDING WHERE PIPES
USED TO ENTER

2. DRIP CAP SO. WALL

3. N.W. CORNER BOARD

4. LOWER W. 1893 SILL

5. SUPPORT NEEDED FOR FLOORING, S. PORCH ^{END of}

6. W. KITCHEN WINDOW

7. CONCRETE PATCH NEEDED AROUND ^{NEW} SVC. ENTRANCE
THRU CELLAR WALL.

8. LIGHTNING RODS - RE-INSTALL

9. GUTTERS - RE-INSTALL

10. QUESTIONS FOR NAT NEBLETT. WASHER/DRYER,
EXTERIOR CONVENIENCE OUTLET. (12 FEB.

17 FEB 76

NAT AGREES WITH PMC THAT THESE
ARE IMPRACTICAL.)

11. HOW TO VENT BATH FAN?

NAT OK'ED A CIRCULAR PATTERN OF DRILLED HOLES IN SO. GABLE, SCREENED BEHIND, FOR BATH FAN.

13 FEB 76 WICK IS IN BED SICK WITH THE FLU. THEN ME TOO - FOR A ~~WHILE~~ ^{WHILE} WE BOTH STAYED DOWN WITH THE FLU. SARA BROUGHT US HOT FOOD SOMETIMES BUT WE WERE TOO MISERABLE TO GET UP AND KEEP A FIRE GOING TO COOK FOR OURSELVES, NOR DID WE HAVE ANY APPETITE. THEN, JUST AS WE RECOVERED, THE HORSES GOT FLU/SHIPPING FEVER. BY THE 17TH, WE WERE UP AND ABOUT, AT LEAST.

17 FEB 76 MAT MOSCA FROM TRUST HEADQUARTERS CAME TO DO PAINT ANALYSIS - HE CUT AWAY LAYERS OF PAINT DOWN TO BASE COAT AND VISUALLY MATCHED IN MOST PLACES. HE TOOK A FEW SAMPLES BACK TO THE LAB - INCLUDING ~~THE~~ ^{THE} SHINGLE WITH TRIM PAINT GREEN.

18 FEB MR SMITH BROUGHT RIMLOCKS WHICH HE BOUGHT NEW AT A HARDWARE STORE IN WINCHESTER, VA. THEY ARE PLAINER AND FLIMSIER THAN THE OLD ONES. (TO BE INSTALLED ON ^S1 BEDROOM, BATH, STUDY, STAIRWELL, CLOSET, W. DINING-DOORS). GLAZED REDWARE KNOBS, FROM THRUOUT THE HOUSE HAVE BEEN MOVED TO ALL BE ON FIRST FLOOR.

1 MAR 1976

2 MAR 1976

19 FEB 76 NEW ACCOUNT NUMBER FROM VEPCO FOR MASON HOUSE WILL BE 79 47 0352 5

27 FEB, WICK AND I CLEANED UP LAST OF DEBRIS FROM BACK FIELD READY FOR MR. BATTEN TO HAUL AWAY. HAULED IN 3 PICKUP LOADS OF SCRAP WOOD FROM SAME FIELD FOR FIREWOOD. WE TOOK DOWN THE ROTTED POSTS AND BARB WIRE SEPARATING THE FIELD FROM THE HOUSE AND SOLD AND DISASSEMBLED THE KENNEL AND DOG RUN.

3 MAR - m

8 MAR

9 MAR

1 MAR 1976 MR BRANDT CAME BACK TO TRIM
INTERIOR OF DOORS & WINDOWS - UNTIL
FURTHER NOTICE ---

2 MAR 1976 ELECTRICAL INSPECTOR FAILED US
ON THE FINAL BECAUSE:

1. LACKED 2 OUTLET COVERS IN GUEST ROOM
2. OUTLET IN STUDY HAD REVERSED POLARITY
3. LACKED GROUND FAULT INTERRUPTER BREAKER
IN BATH OUTLET CIRCUIT
4. FAN LIGHT SHOULD NOT BE OVER TUB
5. MAIN GROUND AT WATER METER WRONG
6. DINING RM HEAT NOT COMPLETED, THEREFORE
NOT GROUNDED
7. CORNING COOKTOP AND DRYER NOT
OFFICIALLY DELETED FROM SPECS
8. KITCHEN NOT DONE.

3 MAR - MR BRANDT at ~~Big~~ MANSION

8 MAR MR BRANDT at POPE-LEIGHEY HOUSE

9 MAR SNOW - MR BRANDT 10:30 - 2

12 MAR 76 PLUMBING INSPECTOR
CANNOT GIVE US A "PASS" ON
PLUMBING FINAL INSPECTION BECAUSE
NO FINISHED FAUCETS IN TUB, NO WALL-TILE.

15 MAR 76 RICHARD EWALD CALLED AND
WANTED TO KNOW WHAT TO DELETE SO
HE COULD GET PAID. I REFERRED HIM
TO PAT + GEORGE.

11 MAR 76 GEORGE DISTL CAME DOWN
FROM TRUST HEADQUARTERS TO GIVE
US ADVICE ON PAINTING - AND WE
BEGIN PREPARATION AND PRIMING -
NO INTERIOR WORK CAN BE DONE UNTIL
DRYWALL IS TAPED, ETC. I AM STILL
STRIPPING WOODWORK.

THIS SPRING WE HAD FOUR SETS OF HOUSE -
GUESTS 1 TO 2 WEEKS EACH; AND FOR 1 MONTH
I HAD A BROKEN HAND AND ARM IN A CAST.

MAY AND JUNE 1976 PREPARATION OF KITCHEN,

WHEN THE DRYWALL WAS TAKEN OFF THE KITCHEN CEILING AND WALLS LAST WINTER FOR WIRING AND INSULATION WE FOUND THAT THE CEILING WITH EXPOSED JOISTS HAD BEEN PAINTED (WHITEWASHED) WHITE ORIGINAL COATS) THEN BLUE, BEFORE CEILING WAS CLOSED IN.

WE HAND-SCRAPED THE BOTTOMS OF FLOORBOARDS AND EXPOSED JOISTS TO BARE WOOD, THEN WASHED THEM DOWN TO REMOVE DUST, ETC. (THE BLUE COLOR IS WATER SOLUBLE). ONE SECTION WHICH WILL BE CASED IN, AT TOPS OF CABINETS, WAS LEFT UNTOUCHED. THE JOISTS HAD BEEN DRILLED TO RUN 2 GENERATIONS OF WIRING, AND THE TOP EDGES AT CENTER HAD BEEN CUT OUT $3/4" \times 3/4"$ FROM ABOVE AND FLOOR BOARDS IMMEDIATELY ABOVE SHOWED SIGNS AND SPLITS AS IF THEY HAD BEEN REMOVED - LOOKS LIKE A PIPE FOR A GAS LIGHT IN CENTER OF KITCHEN BUT THAT SEEMS UNLIKELY

ALL 4 KITCHEN WALLS WERE ORIGINALLY SHEATHED IN RANDOM WIDTH PINE T&G.; WEST WALL NOW MISSING SINCE 1968 FIRE, NORTH KITCHEN WALL SHEATHING WAS LEFT INTACT - NOT REMOVED BY US SINCE WE COULD GAIN ACCESS VIA DINING ROOM SIDE. SHEATHING FROM OTHER TWO KITCHEN WALLS HAS BEEN SAVED FOR RE-INSTALLATION)

PAINT ON NORTH WALL WAS BADLY BLISTERED FROM 1968 FIRE, SO I TORCHED AND SCRAPED, AND WASHED AND SANDED IT. CENTERED ON THE CHIMNEY, THERE IS PAINT LAYERING EVIDENCE FOR AN ARTIFICIAL MANTLE^{EL}. COLOR LAYERING APART FROM THE MANTEL AND IN THE "FIRE BOX" AREA WAS (OLDEST TO NEWEST): GREEN (SOLUBLE) BLUE (SOLUBLE) IVORY GREEN RED IVORY GREEN. BEHIND THE MANTEL "SHADOW" THE SEQUENCE STARTS WITH IVORY (OMITTING THE FIRST TWO LAYERS) OVER BARE WOOD, THEN GREEN, RED, IVORY, GREEN.

i ASSUME THE MANTEL WAS ORIGINAL, THEN WALLS WERE PAINTED GREEN, THEN BLUE, THEN CHAIR RAIL WAS APPLIED UP TO MANTEE. ROOM WAS PAINTED IVORY. MANTEL WAS REMOVED, REMAINING CHAIR RAIL SECTION AND ~~PATCH~~ MANTEL SCAR ALSO PAINTED IVORY. THE MANTEL ITSELF MAY HAVE BEEN PAINTED OR STAINED MED. DARK BROWN AS AT EDGES OF "SHADOW" THERE ARE DRIP AND SMUDGE MARKS OF THIS COLOR.

THIS WAS A FALSE MANTEL, i.e. THERE NEVER WAS A FIREPLACE THERE, BUT A STOVE. WOULD QUAKERS (WHO WE BELIEVED BUILT THE KITCHEN) HAVE USED THIS BIT OF OSTENTATION? IN A KITCHEN? WAS THIS ROOM THEN NOT ADDED BY QUAKERS? WAS THIS ROOM ORIGINALLY OTHER THAN A KITCHEN, A PARLOR MAYBE? WAS A MANTEL SHELF NECESSARY OR USEFUL IN A KITCHEN, NEAR THE STOVE?

LOOKING BACK ON MY NOTES, AT THE
PAINT LAYERING, THE COUNTER, ALSO ON
BARE WOOD, LEADS ME TO BELIEVE THIS
ROOM HAS ALWAYS BEEN A KITCHEN.

IT WAS A KITCHEN WHEN MRS THORPE
LIVED HERE, AND IT IS THE BEST PLACE
FOR A KITCHEN NOW TOO.

6 JULY 197

7 JULY 19

PHASE II

SPECS PUT OUT 9 APR. 1976; BIDS OPENING 12 MAY 1976;

NAT. PARK. SVCS. FUNDING JUNE 1976; PAT PADBERG (PMC)

SIGNED CONTRACT 17 JUNE 1976 - HE HAS 20

DAYS TO START, 50 MORE DAYS TO FINISH.

6 JULY 1976 PAT CAME BY TO LET US KNOW THEY

WILL BEGIN TOMORROW, BY REMOVING THE

KITCHEN FLOOR. I THEN MOVED A

MINIMUM KITCHEN (1 CABINET FOR FOOD & UTENSILS

IS ALL I'VE HAD FOR MONTHS ANYWAY) TO

DINING ROOM. WE WILL USE A CAMPING

PROPANE STOVE AND THE BATHROOM SINK.

7 JULY 1976 PMC MOVED OUR COOKSTOVE OUTDOORS,

WHERE I WRAPPED IT IN HEAVY PLASTIC.

THEY REMOVED KITCHEN SINK AND FLOORING.

LOG FLOOR JOISTS RUN E-W AND ARE

AXED OR ADDED FLAT ON THE TOP ONLY.]

THE 2 JOISTS ^{AT} MOST SOUTH END OF KITCHEN
ARE ROTTED AT ENDS ESPECIALLY THE ONE
THAT HAD BEEN CUT AND RESET ON THE
CONCRETE FOOTING* AND WAS EXPOSED TO
WORST OF LEAKING PLUMBING AND REFRIGERATOR.

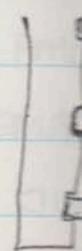
[THE OLD ROUNDTOP FRIGIDAIRE, WHICH WE MOVED
OUT-OF-DOORS, ALWAYS LEAKED A SMALL BUT
STEADY AMOUNT DUE TO CONDENSATION)

KITCHEN FLOORING WHICH WAS REMOVED WAS
UNIFORM WIDTH T&G, PART CEDAR, PART PINE,
~~PLAIN~~ FINISHED TOP AND BOTTOM, AND APPARENTLY
BUT NOT CERTAINLY ORIGINAL, BASED ON NAIL HOLES
IN LOG JOISTS. THE SILLS ARE OK EXCEPT
DIRECTLY UNDER W. KITCHEN DOOR.

NEW FLOOR WILL BE IMPOSSIBLE TO GET
ABSOLUTELY LEVEL BECAUSE OF GRADUAL

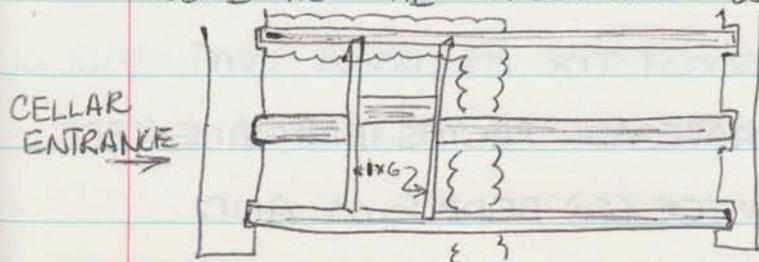
* APPARENTLY TO INSTALL THE FOOTING FOR A WASHER (IT HAS BOLTS
EMBEDDED IN IT), THE T&G FLOORING WAS CUT
OUT $\approx 3' \times 3'$, BOX-FORM WAS BUILT, CONCRETE WAS
POURED FROM INSIDE THE ROOM, THEN THE FLOOR WAS
PATCHED. LATER THE ENTIRE FLOOR WAS COVERED WITH
MASONITE AND ASPHALT TILES.

CELLAR
ENTRANCE
→



SUBSIDENCE OF WHOLE FOUNDATION AND HOUSE IN THE SOUTH. BUT SUPPLEMENTARY PAIRED 2X8 NEW JOISTS WILL BE USED TO MAKE THE FLOOR A FLAT PLANE (EVEN IF 1"-2" OUT OF HORIZONTAL) WITHOUT BUCKLES OR WARPS.

TO MAXIMIZE THE RE-USE OF OLD WOOD, THE THIRD JOIST FROM SOUTH HAS BEEN TAKEN OUT AND RELOCATED IN THE PLACE OF THE SECOND FROM NORTH BECAUSE AT THAT LOCATION, IT SHOWS IN CELLAR ACCESS. IT IS CONCEIVABLE THAT THE REASON THE OLD 2ND-FROM-NORTH JOIST WAS IN THREE SECTIONS WAS BECAUSE OF AN INTERIOR TRAP DOOR TO CELLAR ALTHO I CAN FIND NO EVIDENCE OF IT, OR SA NONE IN THE FLOORING WE TOOK UP.



THU. JULY 8 76 MR BATTEN & TIM SPOT-PATCH
CELLAR ACCESS & FOUNDATION WALLS
FROM INSIDE, MR. SMITH PICKED
OUT BATHROOM TILE
ELECTRICIAN WIRED KITCHEN, UNDER FLOOR.
DRYWALL-TAPING MAN CAME UNANNOUNCED. &
WE DID NOT HAVE ROOMS CLEARED OUT
FOR HIM, AND THERE WERE WORKMEN IN
HIS WAY IN CLEARED ROOMS.

JULY 9 76

ELECTRICAL INSPECTOR DID NOT COME FOR
HIS APPOINTMENT SO PMC CREW BEGAN
CONCEALMENT ANYWAY. PMC CLEANED
UP & INSTALLED AS MUCH FLOORING TO
UPSTAIRS HALL AS WAS POSSIBLE, ABOUT 1/2.
REST WILL BE NEW WOOD.

GRIFFIN STRAPPED UP AND INSULATED PIPES
UNDER KITCHEN.

MON. 12 JULY 76 I HAVE ALL ROOMS EMPTY EXCEPT
FOR ~~THE~~ MASTER (SO) BEDROOM AND

13 JULY

14 JULY

15 JULY

16 JULY

DINING ROOM, WHERE WE ARE NOW
STORING ALL BULKY ITEMS WHICH WILL
NOT FIT IN TRUCK (MY 1956 HORSE VAN
HAS BEEN FILLED WITH STORAGE SINCE
THE START OF PHASE I) AND WOULD BE
DAMAGED OUTSIDE.

13 JULY DRYWALL ^{TAPING} MAN AGREES TO WORK THIS JOB
IN TWO PHASES TO ACCOMMODATE US. HE EXPECTS
TO BE READY FOR US TO SHIFT AGAIN ON MON.
PMC'S LUMBER IS DELIVERED. THERE IS TOO
MUCH VARIATION IN THICKNESS - KITCHEN WALLS
WOULD HAVE TO BE SANDED, AN IMPOSSIBLE JOB -
THEY WILL HAVE TO FIND DIFFERENT WOOD.

14 JULY SO PMC WORKED ON UPSTAIRS HALL FLOORING
AND TILE MAN WAS IN THE BATH, SO THE
DRYWALL MAN LEFT.

15 JULY DRYWALL TAPING MAN SAYS SHIFT FURNITURE TUES.
STRUCTURAL INSPECTOR PASSED KITCHEN JOISTS.

16 JULY PMC INSTALLED KIT. FLOORING
MR BRANDT IS HERE TODAY. HE DRYWALLED

REMAINING DINING WALL, AND BRICKED UP THIMBLE IN DINING (SINCE ^{IT} SHARED THE KITCHEN FLUE AND THE TWO STOVE OPENINGS WERE TOO CLOSE TOGETHER TO BE SAFE - 3' IS RECOMMENDED)

NO DRYWALL MAN - HI HUMIDITY AND THE COMPOUND IS NOT DRYING WELL.

19 JULY. CABINETS DELIVERED. PMC CONT.

20 JULY - DRY WALL MAN SAYS SHIFT ROOMS ON THURS

21 JULY BACKSPLASH CONVENIENCE OUTLET MIS-PLACED. THEY WILL HAVE TO RE-WIRE AND RECT BACKSPLASH. FITTING IN CABINETS AND COUNTERTOP HAS BEEN HELLISHLY DIFFICULT.

2 JULY - 1 AM HAND-CARRYING WATER TO MY VEGETABLE GARDEN SINCE KITCHEN AND HOSE ARE STILL SHUT OFF.

WOODLAWN STAFF HELPED MOVE TO NEW SET OF ROOMS DRYWALL TAPE PART 2 BEGINS

26 JULY 76

WICK

ARMY

MR B

OF WO

STORE

BE D

TO WA

ELECT

COUNT

27 JULY DR

28 JULY MR

29 JULY MR

TO C

SO T

JUST

2 AUG. - ALL

UP

26 JULY 76

WICK SAYS WE MIGHT GET TRANSFERRED BY THE ARMY TO GERMANY AS EARLY AS THIS OCT. MR. BRANDT ARRIVED, UNEXPECTEDLY. THERE IS LOTS OF WORK FOR HIM BUT WITH THE DRYWALL TAPER, STORED FURNITURE, AND OTHER WORKMEN, IT WILL BE DIFFICULT TO GIVE HIM THE SPACE HE NEEDS TO WORK.

ELECTRICIAN RICHARD EWALD ADDED AND MOVED COUNTER CONVENIENCE OUTLETS

27 JULY DRYWALL MAN BACK; ELECTRICIAN FINISHES

28 JULY MR BRANDT HERE CASING WINDOWS

29 JULY MR SMITH + MR BRANDT DECIDE TO TRY TO GET NEW REPLICA TRIM FOR 1893 UPSTAIRS SO THERE IS NOT MUCH MR. BRANDT CAN WORK ON JUST YET, HE SAYS.

2 AUG. - ALL REMAINING CONTRACTOR WORK IS HELD UP WAITING FOR PARTS (FAUCET, REFRIG. etc)

5 AUG 76 PMC FINISHED ALL CARPENTRY

6 AUG 76 ARMSTRONG FLOOR INSTALLED IN BATH

10 AUG 76 MR BRANDT, WHO IS UP AT THE WOODLAWN SHOP, CAME DOWN AND INSTALLED THE UNDERCABINET LIGHTS (ORDERED BY WOODLAWN FROM SEARS) IN KITCHEN.

11 AUG 76 CHARLES HASEMAN, NEIGHBOR VOLUNTEER BEGINS TODAY, HELPING TO PAINT.

DRYWALL FINISHERS FINISH TODAY, AS ~~DOES~~ DOES GRIFFIN PLUMBING (KIT. SINK)

12 AUG 76 FLOOR SANDERS ARRIVE. THEY TOO, WILL DO WORK 1/2 AND 1/2, WITH US MOVING OUT OF THEIR WAY. WE WILL DO THE REFINISHING - THEY RECOMMEND DURA-SEAL PENETRATING OIL/SEALER/STAIN. ~~AND~~ I CONFIRM THIS CHOICE WITH MR SMITH AT BELLE-GROVE AND GO TO GET SUPPLIES.

13 AUG 76 GEORGE DISTL, THE TRUST'S PAINTER IS

HE
REF
COA
MAST
MORE
HOLE
GEO
TO
15 AUG (SUN)
16 AUG
17 AUG
18 AUG
WOOD
PARL
MOVI
BAC
MAST
HAD

AUG 14
(SAT)

15 AUG (SUN)

16 AUG

17 AUG

18 AUG

HERE TODAY TO HELP GET THE FLOORS
REFINISHED QUICKLY - WE GET THE FIRST
COAT ON STUDY, ~~GUEST ROOM~~, ^{DINING} KIT, ~~PARLOR~~. IN
MASTER BEDROOM THE SANDERS WILL HAVE
MORE WORK TO DO; GUEST ROOM HAS SOME TERMITE (?)
HOLES TO BE PATCHED.

AUG 14
(SAT)

GEORGE DISTL AND CHARLES WORK TODAY
TO EXPEDITE FLOOR REFINISHING

15 AUG (SUN) FINAL COAT DURA-SEAL IN GUEST ROOM

16 AUG I WAXED AND BUFFED KIT, DINING, STUDY, GUEST.
AND PAINTING GOES ON. - MOVE ROOM-TO-ROOM.

17 AUG. MOVE FURN. FROM ROOM TO ROOM - MR BATTEN & TIM HELP

18 AUG WOODLAWN STAFF CAME TO MOVE SOFA OUT OF
PARLOR. IT IS A SLEEP-SOFA, ^A HEAVY 4-MAN
MOVING TASK. FLOOR SANDERS COME
BACK FOR PART TWO. (PARLOR, HALL, STAIRS,
MASTER BEDROOM). GEORGE DISTL & I
HAD TIME AFTER THEY LEFT TO GET

THE FIRST COAT ON EVERY NEWLY
SANDED FLOOR.

19 AUG MR. DISTL PAINTS, I PUT THE SECOND COAT OF
DURA-SEAL ON. PAINTING GOES ON AND ON.

23 AUG. PMC RETURNED TODAY FOR FINAL CHECK
ON JOB COMPLETENESS, AND RE-INSTALLED
REFRIGERATOR + FREEZER SO THEY FIT IN
CABINETS BETTER.

1. 1 KITCHEN CABINET DOOR NEEDS PLANING

2. 1 WINDOW (E. KIT.) NEEDS HEAD STOP

3. BASE CABINETS NEED TO BE FITTED
MORE TIGHTLY AGAINST WALL + AROUND
PIPES (ADD-ON PIECES O.K.) TO
DIMINISH MICE ACCESS.

4. BATH DOOR DRAGS ON THE FLOOR

5. THRESHHOLDS NEEDED

6. STAIRS SANDING WAS TERRIBLY UNSATS-
FACTORY - LEFT BIG CIRCULAR MARKS

7. PORCH-SO. END-NEEDS DOWNSPOUT [NOT IN
CONTRACT]

25 AUG. 76

1 SEPT. 76

2 SEPT 76

THIS AFTERNOON, I FINALLY FOUND 2 WALLPAPERS WHICH I FEEL ARE APPROPRIATE AND PRACTICAL ENOUGH TO ENCOURAGE INSTALLATION. THEY DO NOT HAVE THE SHINY VINYL COATING, ARE PRE-PASTED, DRY-STRIPPABLE, CHEAP ENOUGH AND GOOD PERIOD PATTERNS. I HAVE LOOKED AT SAMPLE BOOKS AT 15 SHOPS FOR 1 1/2 YRS AND I BELIEVE THIS IS THE BEST WE CAN DO.

25 AUG. 76 MR NEBLETT APPROVED WALLPAPER CONCEPT AND PURCHASE.

1 SEPT. 76 MOLDING FOR UPSTAIRS TRIM WAS BROUGHT BY GEORGE SMITH. HE FOUND A WOOD-WORKER UP-COUNTRY WHO STILL USES OLD KNIVES, AND FOR THIS JOB USED 50 YEAR OLD LUMBER (TRIM GOES AROUND WINDOWS & DOORS IN STUDY & GUEST ROOM)

2 SEPT 76 MR. MASSEY, OF THE DOWNTOWN HEADQUARTERS CAME BY.

3 SEPT. 76 - ELECTRICAL INSPECTOR CAME BY FOR FINAL TODAY. THERE IS A PAPER-WORK DIFFICULTY BECAUSE THE KITCHEN WORK WAS DELETED FROM PHASE I'S PERMIT WICK IS BUILDING A STOVE PAD OF QUARRY TILES AND PLYWOOD SO THAT STOVE IS REMOVABLE. PAINTING GOES ON AND ON

8 SEPT 76 WE MOVED COOKSTOVE BACK INTO KITCHEN. ONE ROOM IS COMPLETE AND DONE. WHAT A LUXURY!

5 SEPT 76 MR BRANDT IS FINALLY BACK; BEGAN TO TRIM MASTER BEDROOM

16 SEPT 76 MR BRANDT CONTINUES BEDROOM TRIM. WEATHER BAD - NO WAY TO WORK ON EXTERIOR TODAY. ALL INTERIOR PAINTING / PAPERING IS AS DONE

AS IT CAN BE UNTIL MORE ROOMS HAVE
FINAL CARPENTRY COMPLETED.

CHARLES WORKED SEVERAL WEEKS
FOR US AFTER SCHOOL AND THEN
BECAME A MEMBER OF THE WOOD-
LAWN STAFF, WITHOUT HIM I'M AFRAID
WE WOULD HAVE GIVEN UP.

THE HOUSE WAS FINALLY FINISHED
FOR AN "OPENING RECEPTION" FOR THE
20-OR-SO MEMBERS OF WOODLAWN'S BOARD
OF ADVISORS / COUNCIL MEETING- OCT 19,
[ALTHOUGH THE NAT. TRUST. BOARD OF TRUSTEES (?)
VISITED BRIEFLY MID-SEPT] WE HELD OUR
OWN OPEN HOUSE 26 DEC. 1976.



Chron. No.: _____ Photo No.: 7-6

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: EAST PORCH

↑
N



Date: 30 OCT 75

Photographer: LAURA WALKER

Source: _____

Remarks: _____

8x10 copy _____ Neg. No. _____



Chron. No.:

Photo No.: 7-5

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: EAST PORCH SHOWING

1 ORIGINAL LOG JOIST; ALSO
PLUMBING TO BE REPLACED

↑
N

Date: 30 OCT 75

Photographer: LAURA WALKER

Source: _____

Remarks: _____

8x10 copy

Neg. No. _____



Chron. No.:

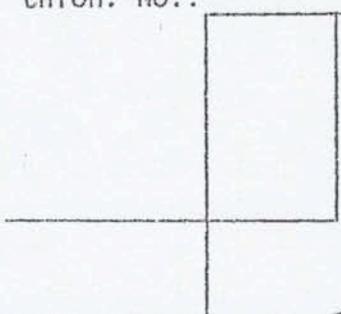
Photo No.:

11-18

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: NEW 1975 NORTH
FOUNDATION



↑
N



Date: NOV. 75

Photographer: LAURA WALKER

Source:

Remarks: MATERIALS - POURED CONCRETE
FOOTING, CONCRETE BLOCK FACED
WITH BRICK

8x10 copy

Neg. No.



Chron. No.:

Photo No.:

11-5

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: CENTRAL UPSTAIRS
LOOKING NORTH

↑
N



Date: NOV. 75

Photographer: LAURA WALKER

Source: _____

Remarks: _____

3x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.:

114

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: CEILING JOISTS (SHAPED POLES)

- CENTRAL UPSTAIRS

- LOOKING SOUTHWARD

↑
N



Date: NOV. 75

Photographer: LAURA WALKER

Source:

Remarks:

8x10 copy

Neg. No.



Chron. No.:

Photo No.:

11-1

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: CENTRAL WEST WALL
SHOWING ROTTED, BOWED
SILL

↑
N



Date: NOV. 75

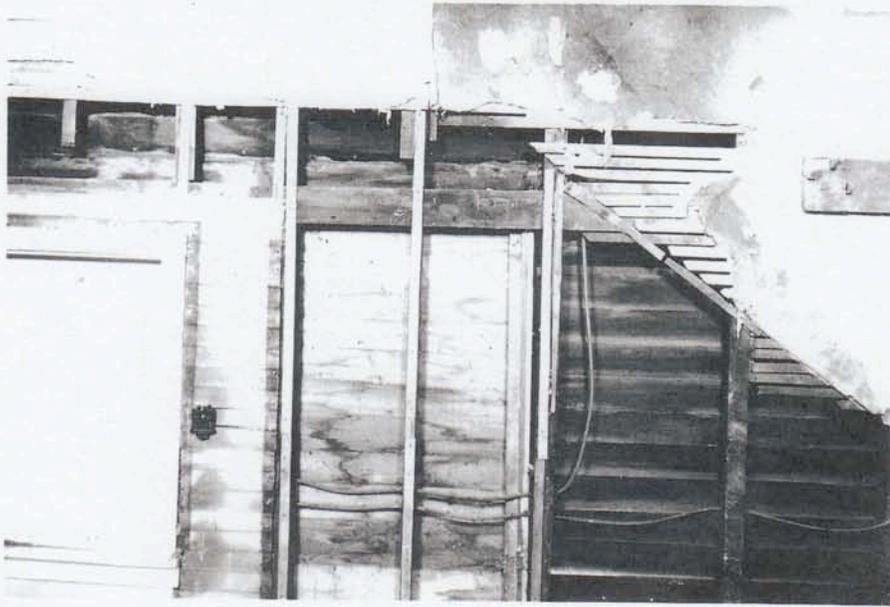
Photographer: LAURA WALKER

Source:

Remarks: This access to cellar was
closed in the renovation

3x10 copy

Neg. No.



Chron. No.:

Photo No.:

9-21

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: LOCATION OF DOOR TO
BE REOPENED IN
WEST WALL

↑
N



Date: NOV. 75

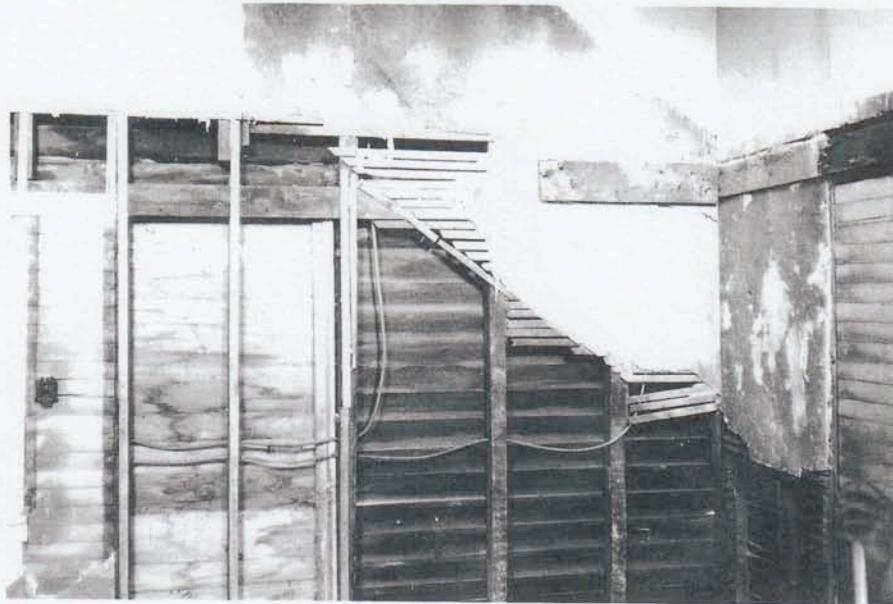
Photographer: LAURA WALKER

Source: _____

Remarks: NOTE SAME PAINT GAP ON
BOARDING AS SHOWN ROLLS 7, 8

3x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.:

9-19

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: LOCATION OF
RECONSTRUCTED
STAIRS

Date: NOV. 75

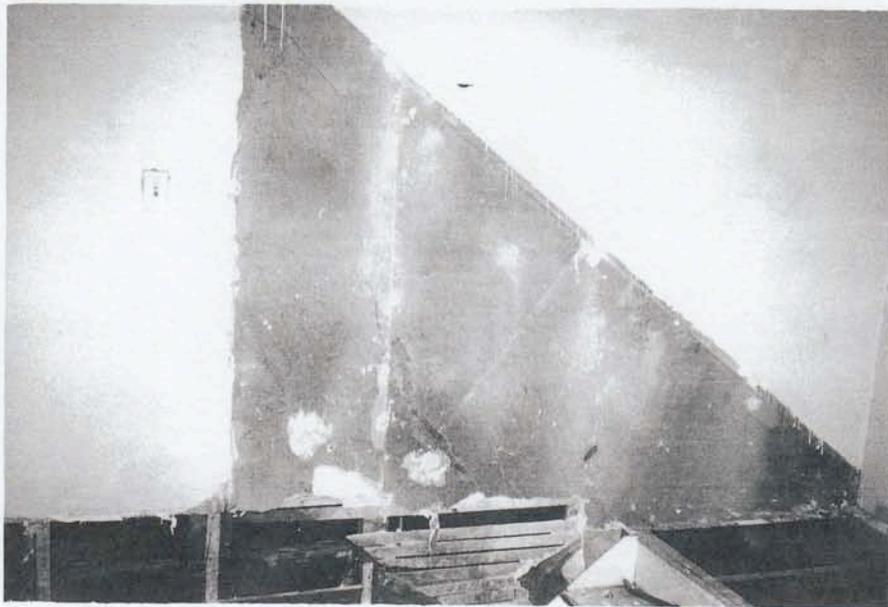
Photographer: LAURA WALKER

Source: _____

Remarks: The current stairs were reconstructed
in this location

3x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.:

9-15

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: INTACT PLASTER

UNDER DRYWALL

↑
N



Date: NOV. 75

Photographer: LAURA WALKER

Source:

Remarks: HELPS SHOW PREVIOUS STAIRS

3x10 copy

Neg. No.



Chron. No.:

Photo No.:

9-8

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: UPSTAIRS CENTRAL ROOM

↑
N



Date: NOV. 75

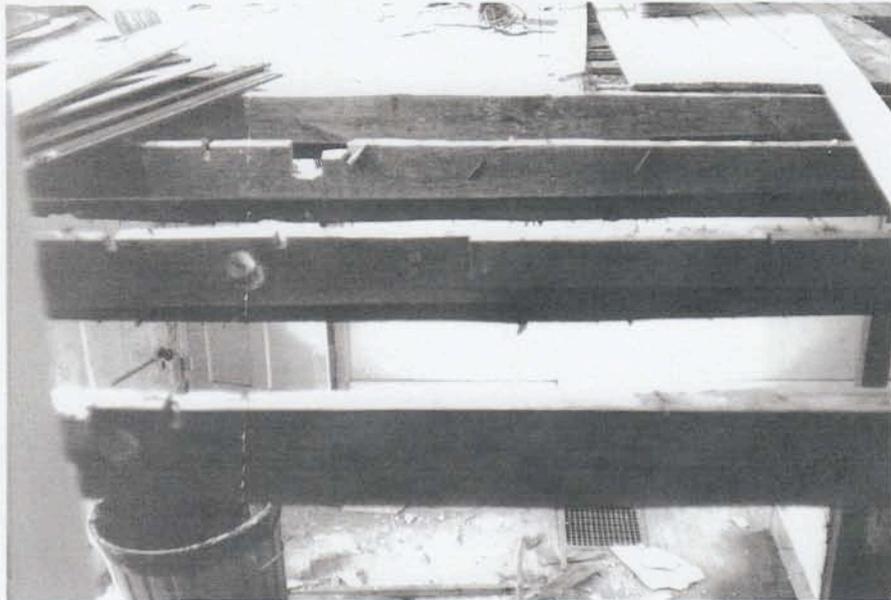
Photographer: LAURA WALKER

Source: _____

Remarks: MARKS ~~OUT~~ OF ORIGINAL PARTITION, LATER
INCORPORATED INTO BATH PARTITION.
1975 BATH PARTITION INSTALLED AT
THIS LOCATION.

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 9-6

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: EXPOSED CEILING
- FLOOR JOISTS

↑
N



Date: NOV 75

Photographer: LAURA WALKER

Source: _____

Remarks: _____

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 9-5

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: UPSTAIRS CENTRAL ROOM

↑
N



Date: NOV. 75

Photographer: LAURA WALKER

Source: _____

Remarks: FLOOR ADDED ON TOP OF ORIGINAL FLOOR TO COMPENSATE FOR SAGGING JOISTS.

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 9-3

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: CENTRAL PORTION OF
CEILING - JOISTS
EXPOSED

Date: NOV. 75

Photographer: LAURA WALKER

Source: _____

Remarks: NOTE MANY PATCHES AND CRACKS

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.:

11-19

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: NORTH WALL

-STUDS AND JOISTS

↑
N



Date: NOV. 75

Photographer: LAURA WALKER

Source: _____

Remarks: DUE TO SLIGHT BOW IN SILL (FOUNDATION
BUILT TO MATCH), JOISTS DO NOT
COMPLETELY BEAR ON SILL

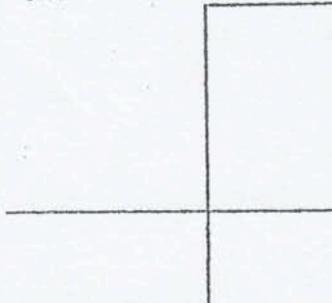
8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 7-16



Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: NORTH FOUNDATION
- EAST CORNER



Date: 6 NOV 75

Photographer: LAURA WALKER

Source: _____

Remarks: OLD FOUNDATION REMOVED AS FAR AS
CORNER STONE, WHICH WAS THEN REMOVED

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 7-11

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: NORTH FOUNDATION
-DETAIL

↑
N



Date: 6 NOV 75

Photographer: LAURA WALKER

Source: _____

Remarks: _____

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 7-15

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: SUMP PUMPLINE AT
EAST PORCH

↑
N



Date: 6 NOV 75

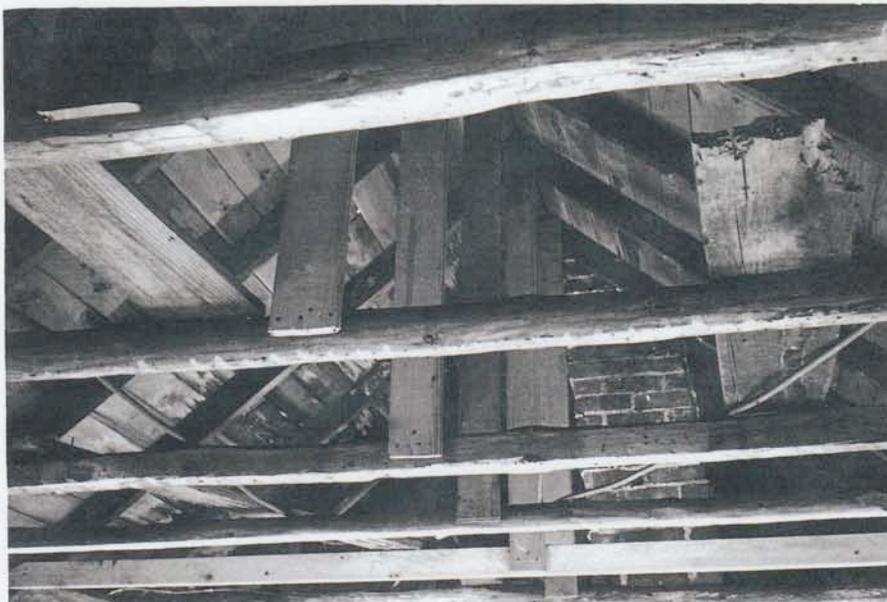
Photographer: LAURA WALKER

Source: _____

Remarks: _____

8x10 copy

Neg. No. _____



Chron. No.:

Photo No.:

11-12

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: UPSTAIRS CENTRAL
CEILING JOISTS

↑
N



Date: NOV. 75

Photographer: LAURA WALKER

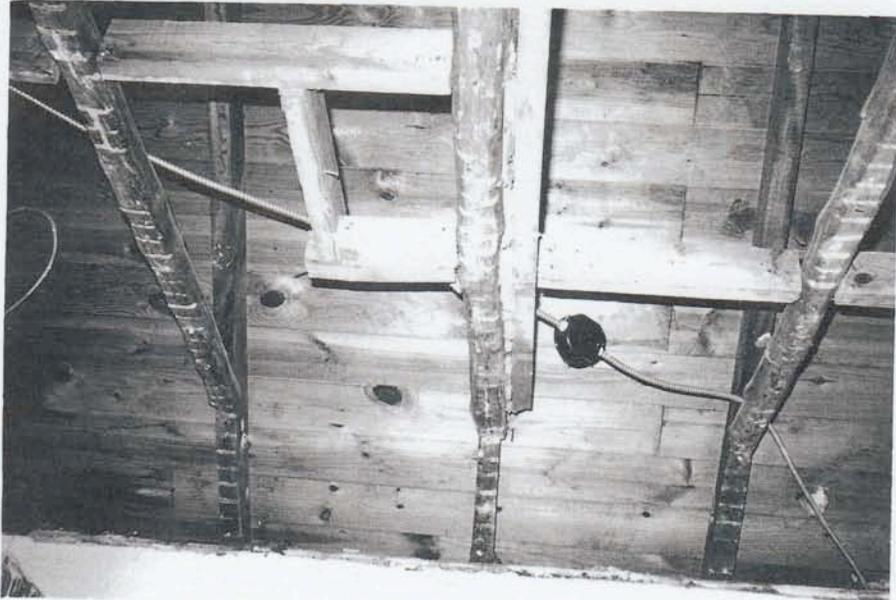
Source:

Remarks:

OLDER 2x4'S REMOVED (1975) LEVELLED
AND TIED WITH 1x6 TO RAFTERS
NOTE ALSO 1975 REPLACEMENT 2x4

8x10 copy

Neg. No.



Chron. No.:

Photo No.:

11-9

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: 2x4 ADDITIONS TO

CENTRAL CEILING

JOISTS LOOKING WEST

↑
N



Date: _____

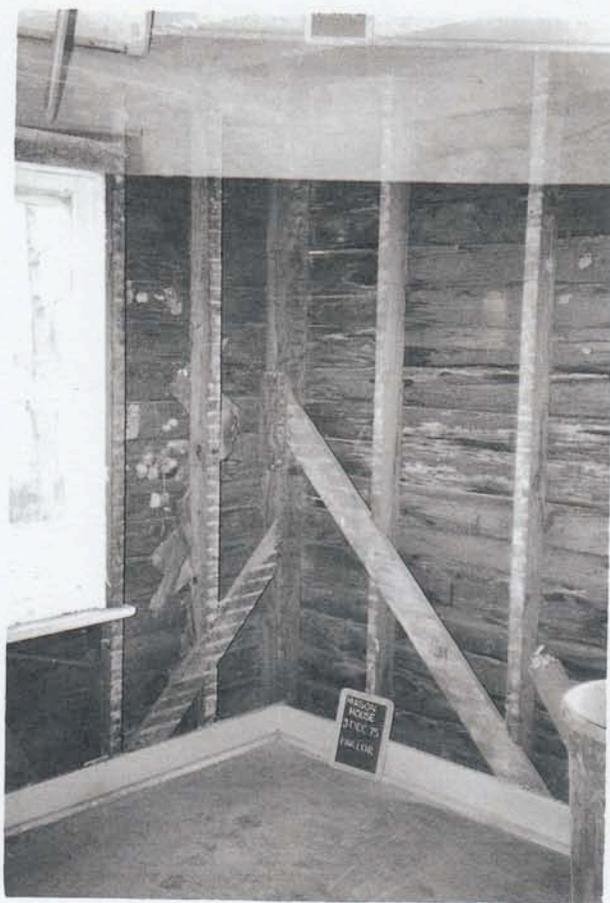
Photographer: _____

Source: _____

Remarks: _____

3x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 12-18A

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: N.E. CORNER

- PARLOR

- BRACING

Date: DEC 15

Photographer: LAURA WALKER

Source: _____

Remarks: _____

3x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.:

14-6

Property: Woodlawn Plantation

Building: Otis Tifton Mason House

View: KITCHEN - SOUTH

↑
N



Date:

DEC. 75

Photographer:

LAURA WALKER

Source:

Remarks: *ORIGINAL HORIZONTAL BOARDING REVEALED (*NO OTHER NAIL MARKS OR LATH MARKS ON STUDS UNDERNEATH)
OLD SHELVING LOCATION, CHAIR RAIL - COUNTERTOP HEIGHT SHOWN BY PAINT

3x10 copy

Neg. No.



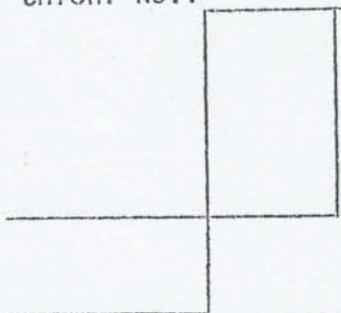
Chron. No.:

Photo No.: 8-17

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: CENTRAL ROOM
- NORTH WALL



Date: NOV 75

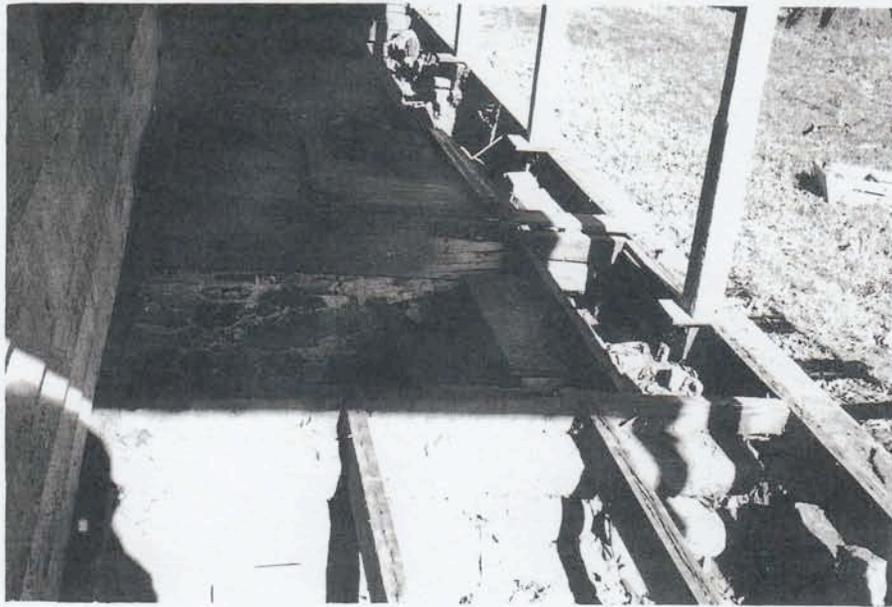
Photographer: LAURA WALKER

Source: _____

Remarks: LATH MARKS UNDER BOARDING.
BASEBOARD RETAINED.

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.:

7-4

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: EAST PORCH

- CELLAR ACCESS

↑
N



Date: 30 OCT 75 Photographer: LAURA WALKER

Source: _____

Remarks: STEPS INSTALLED BY WALKERS,
MOVED FROM OTHER CELLAR ENTRANCE
WHICH WILL BE ELIMINATED

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 7-3

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: EAST PORCH

-ORIGINAL LOG AROUND
CELLAR OPENING

↑
N

Date: 30 OCT 75

Photographer: LAURA WALKER

Source: _____

Remarks: _____

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 7-14

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: TRENCH DUG FOR NEW
SUMP PUMP OUTLET

↑
N



Date: 6 NOV 75

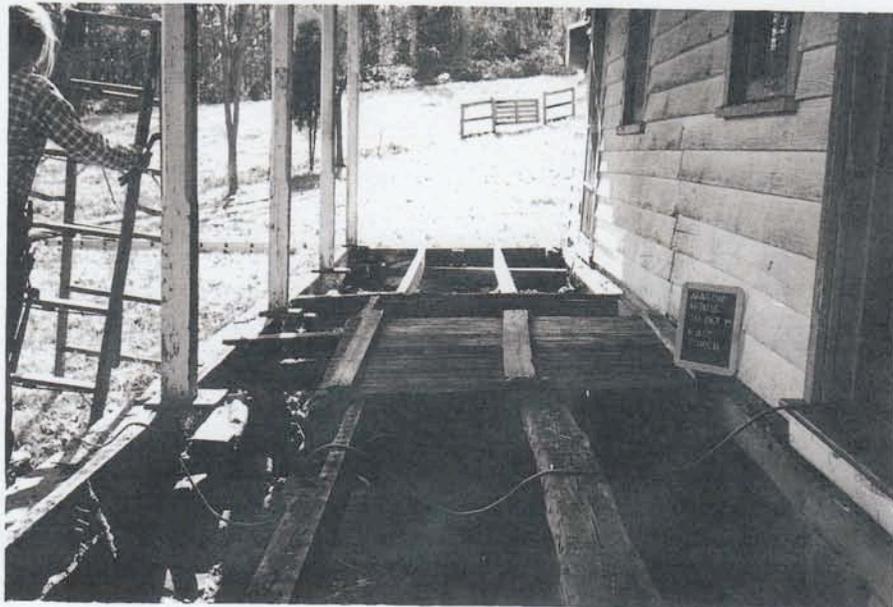
Photographer: LAURA WALKER

Source:

Remarks:

8x10 copy

Neg. No.



Chron. No.:

Photo No.: 7-7

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: EAST PORCH

-OLD TRAP DOOR OPEN

↑
N



Date: 30 OCT 75

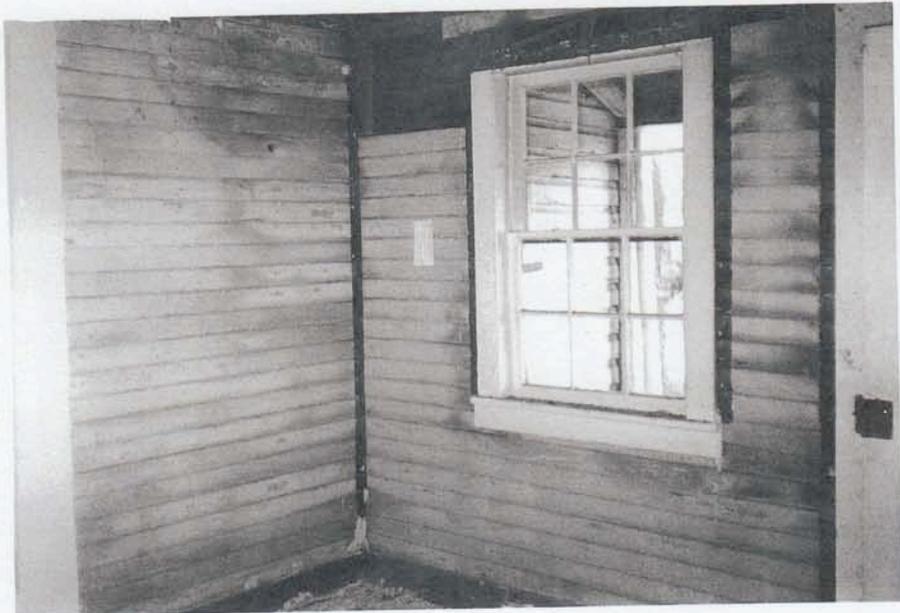
Photographer: LAURA WALKER

Source: _____

Remarks: _____

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.: 7-20

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: CENTRAL (DINING) ROOM

(N.E. CORNER) - BOARDING

FOUND UNDER DRYWALL

↑
N



Date: 6 NOV 75

Photographer: LAURA WALKER

Source: _____

Remarks: NOTE UNPAINTED AREA IN CORNER AND
AROUND SIDES OF WINDOW + DOOR. ALSO
PREVIOUS (ORIGINAL?) BASEBOARD IN PLACE
TO BE SAVED.

8x10 copy _____

Neg. No. _____



Chron. No.:

Photo No.:

15-5

Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: WEST WALL

- REOPENING OLD
DOORWAY

↑
N

Date: DEC 75 / JAN 76

Photographer: LAURA WALKER

Source:

Remarks:

8x10 copy

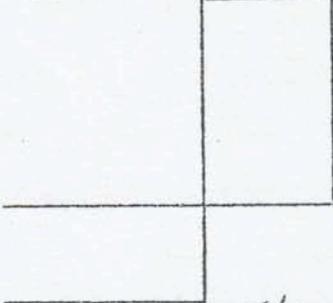
Neg. No.



low

Chron. No.:

Photo No.: 159



Property: Woodlawn Plantation

Building: Otis Tufton Mason House

View: NEW DOORWAY

Date: ~~DEC 75~~ / JAN 76 Photographer: LAURA WALKER

Source:

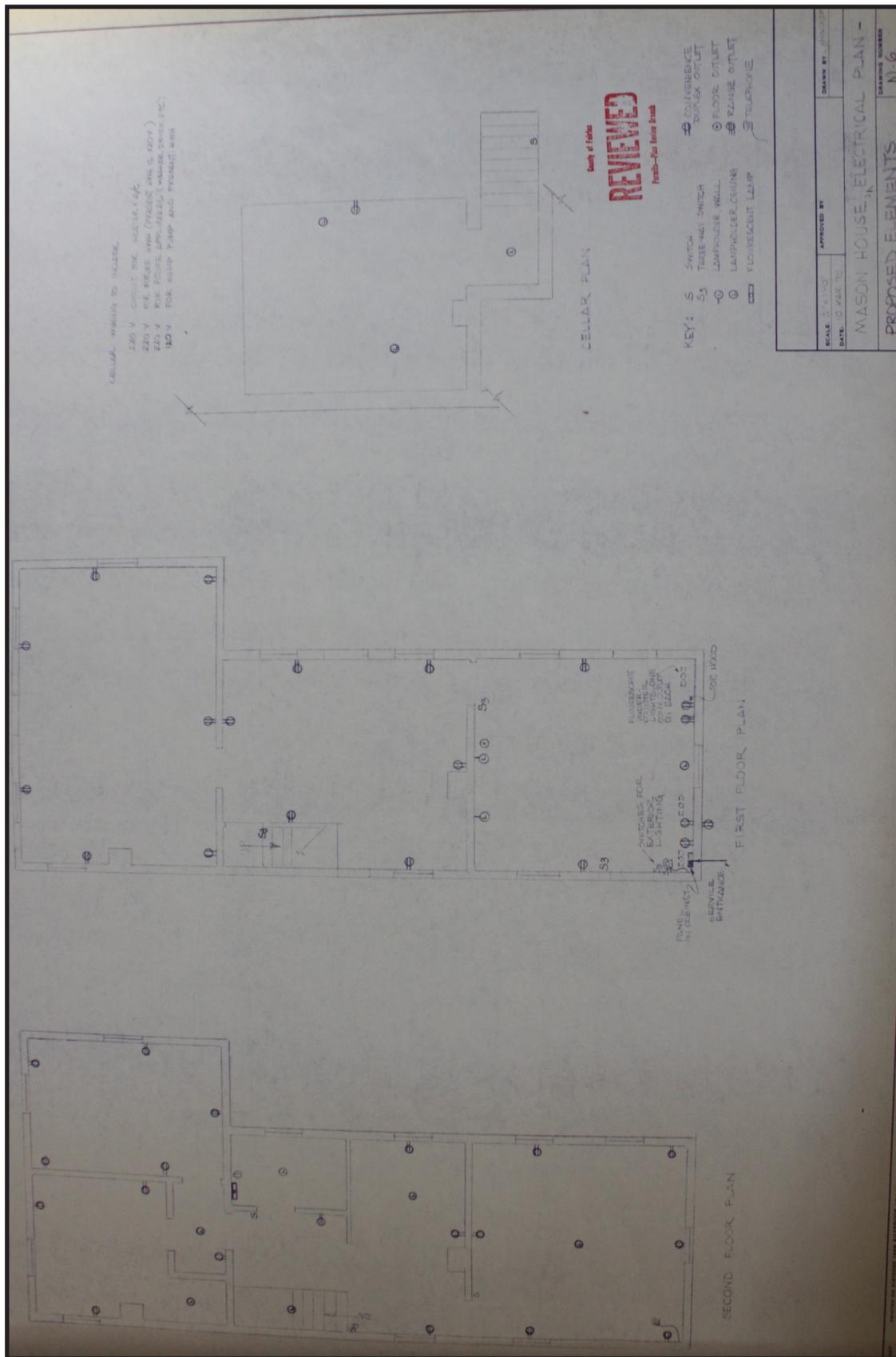
Remarks:

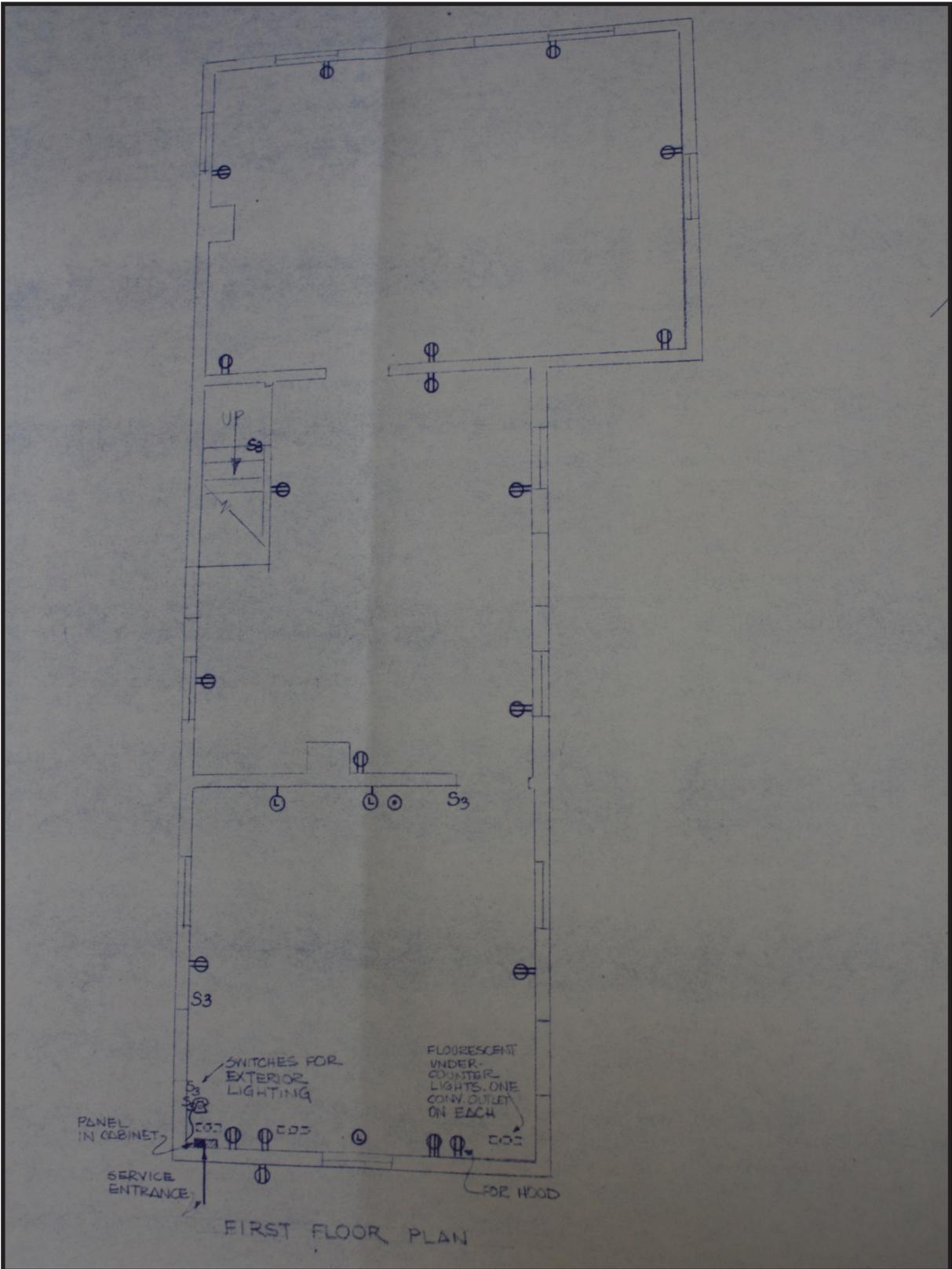
3x10 copy

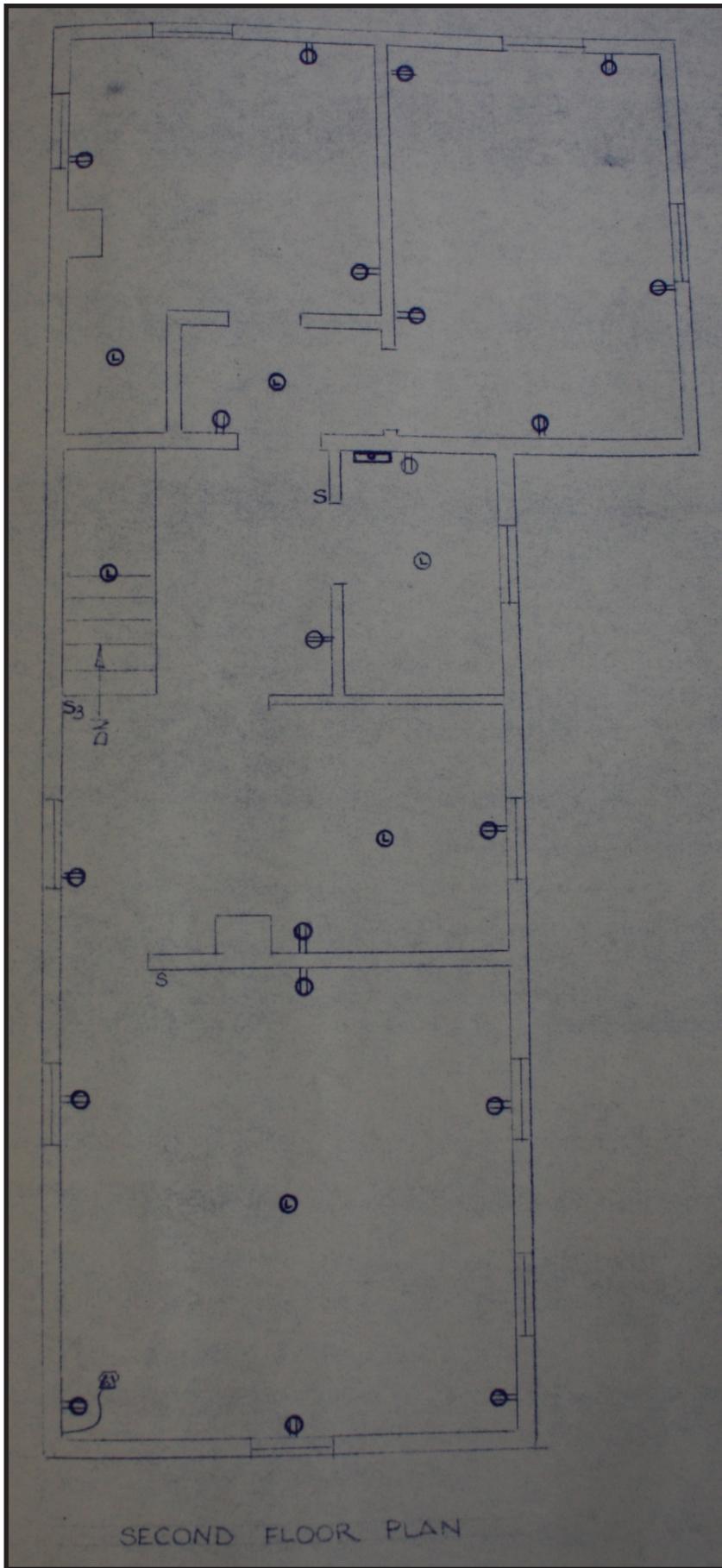
Neg. No.

RESTORATION DRAWINGS

ELECTRICAL PLAN-PROPOSED ELEMENTS

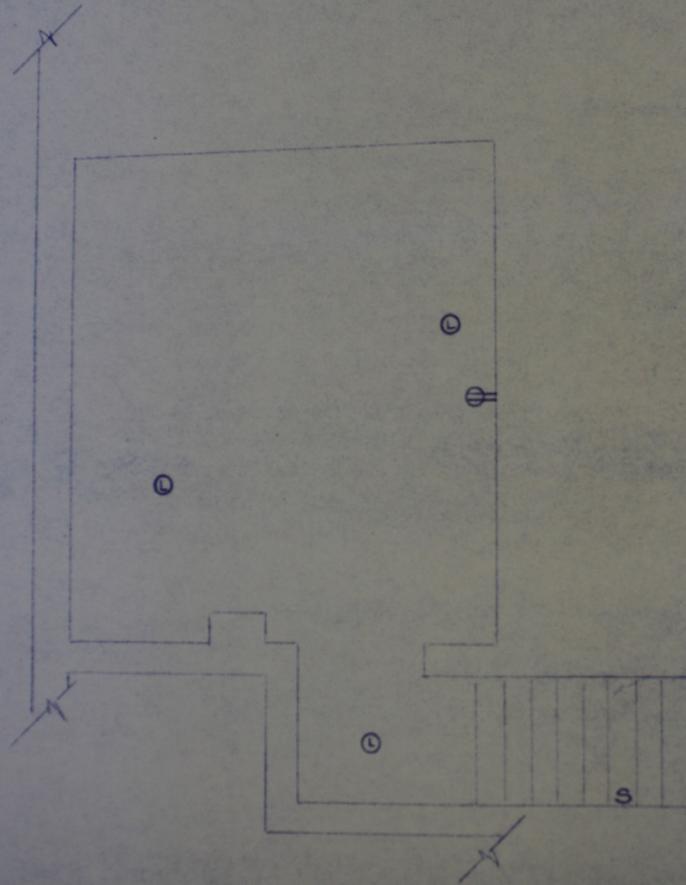






CELLAR WIRING TO INCLUDE

- 220 V CIRCUIT FOR HEATER + A/C
- 220 V FOR FUTURE HWH (PRESENT HWH IS 120V)
- 220 V FOR FUTURE APPLIANCES (WASHER, DRYER, ETC)
- 120 V FOR SUMP PUMP AND PRESENT HWH



CELLAR PLAN

- KEY:
- S SWITCH
 - S3 THREE-WAY SWITCH
 - ⊖ LAMPHOLDER, WALL
 - ⊙ LAMPHOLDER, CEILING
 - ▭ FLOURESCENT LAMP
 - ⊖ CONVENIENCE DUPLEX OUTLET
 - ⊙ FLOOR OUTLET
 - ⊖ RANGE OUTLET
 - ☎ TELEPHONE

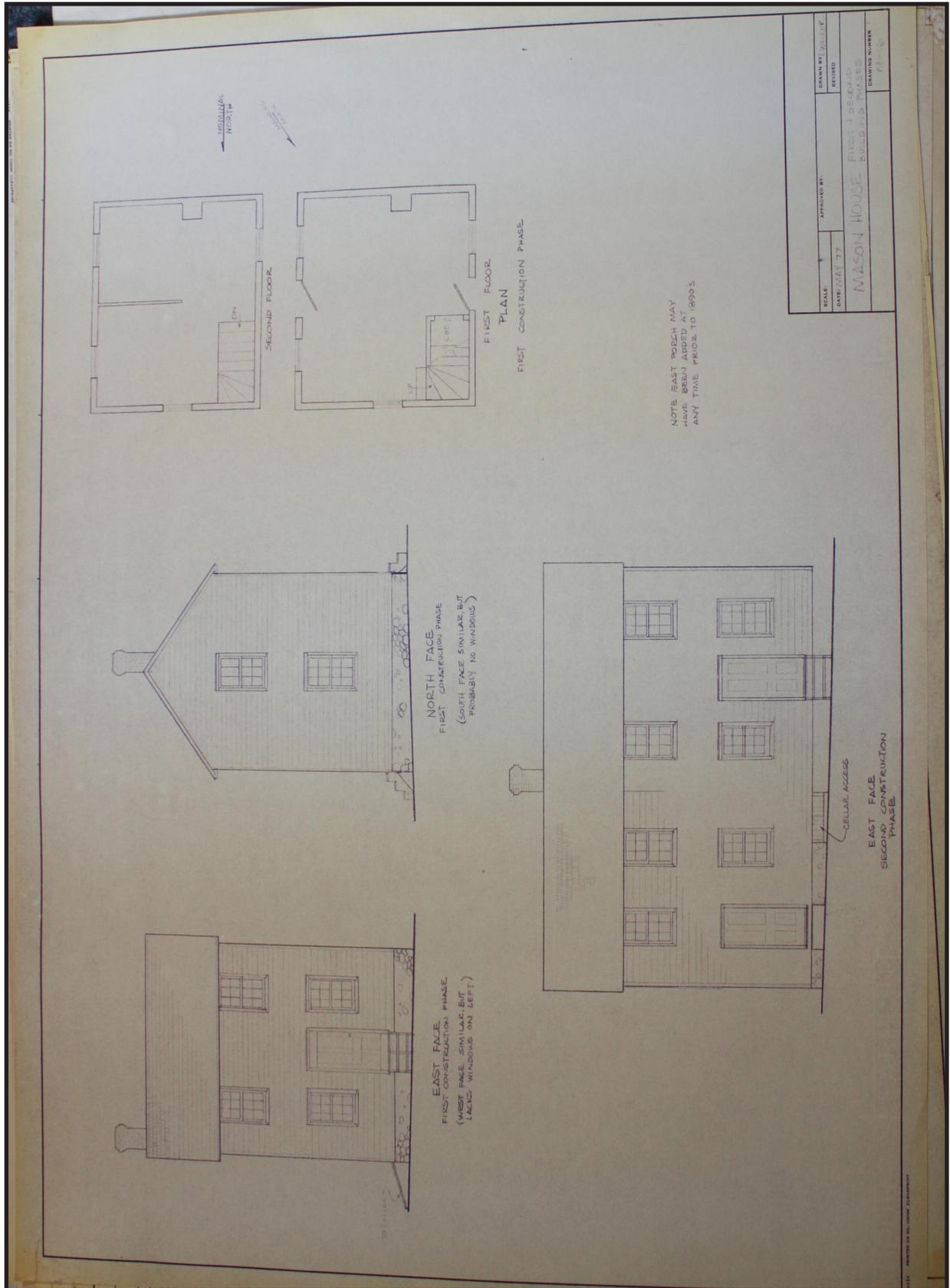
SCALE: $\frac{1}{4}'' = 1'-0''$	APPROVED BY	DRAWN BY L. WALKER
DATE: 10 MAR 75		

MASON HOUSE, ELECTRICAL PLAN -

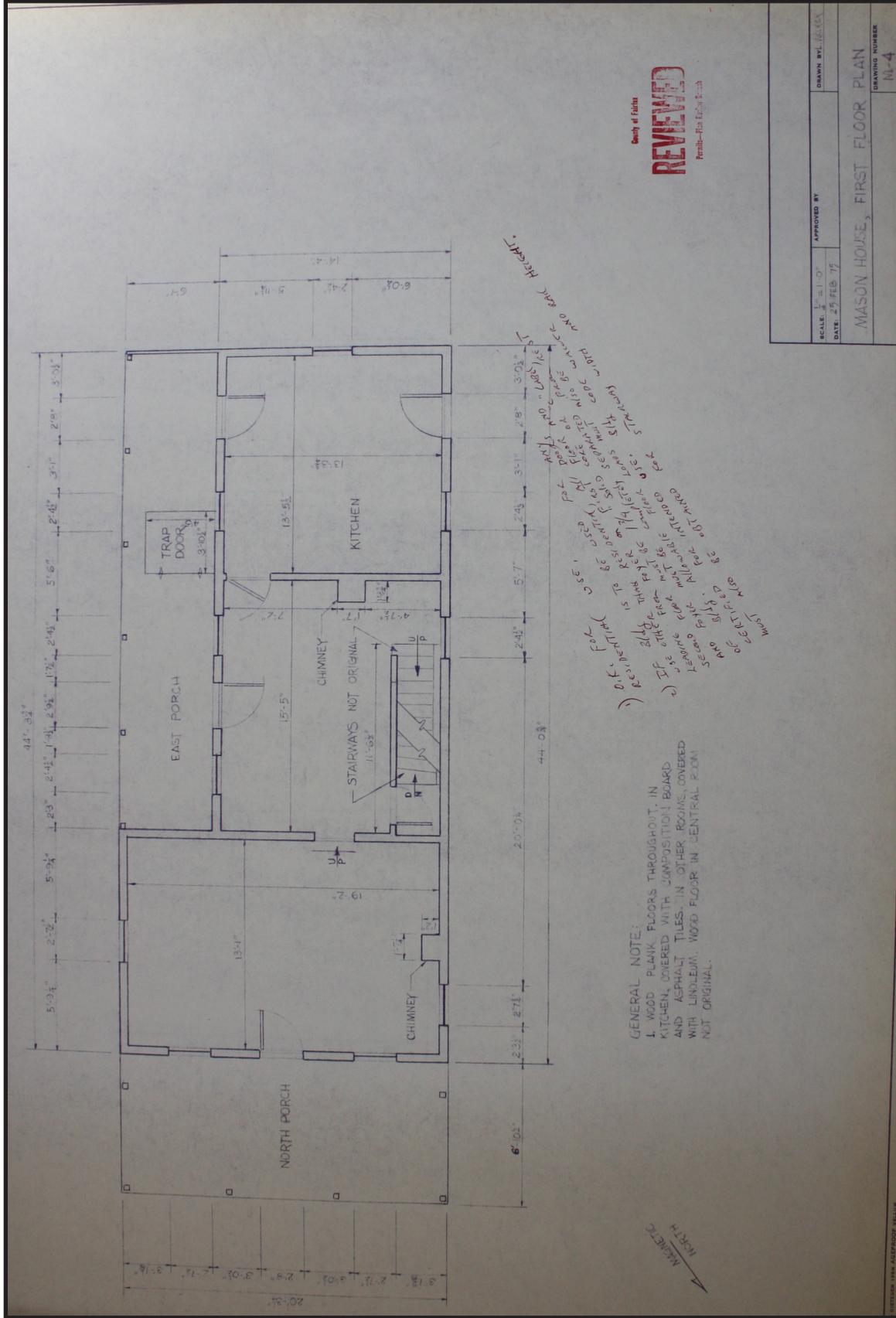
PROPOSED ELEMENTS

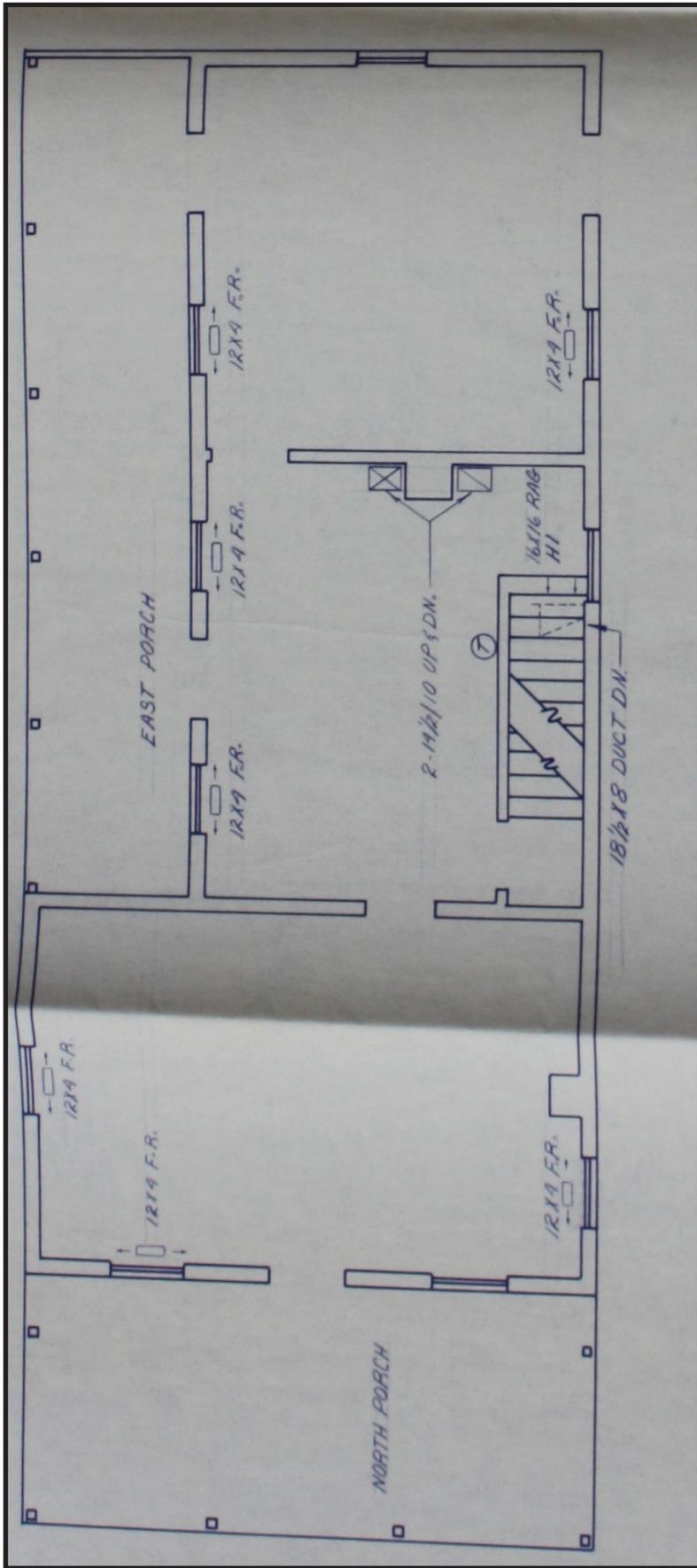
DRAWING NUMBER
M-6

FIRST & SECOND BUILDING PHASES

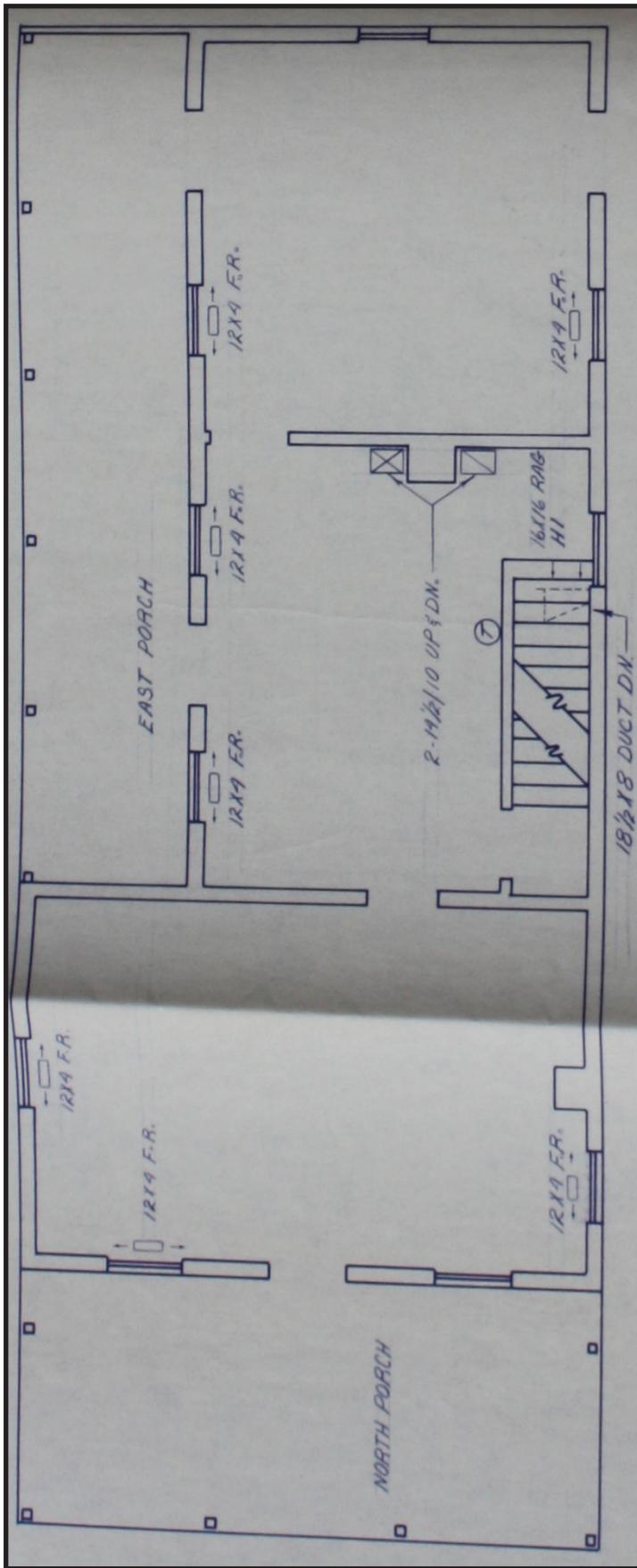


FIRST FLOOR



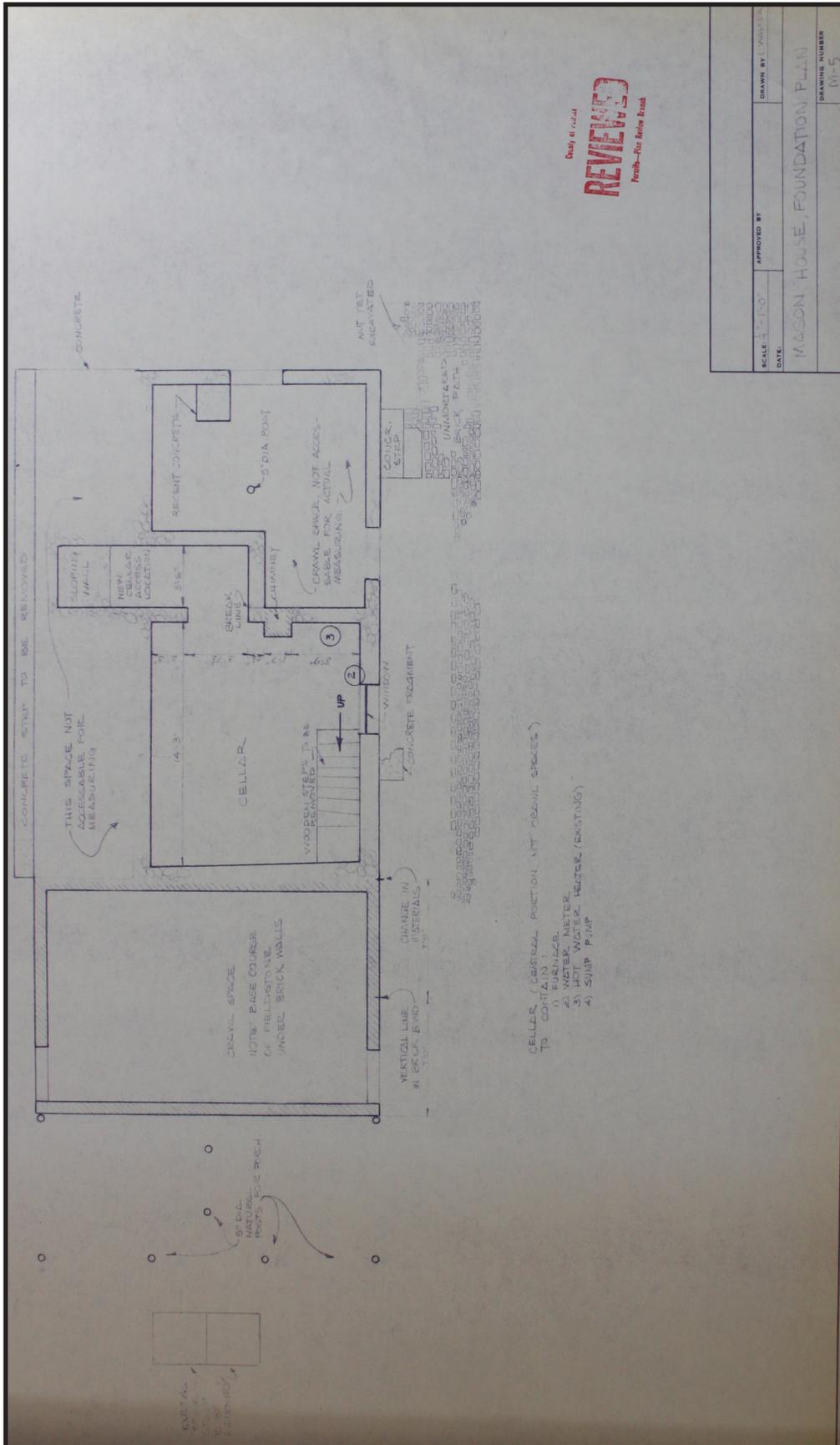


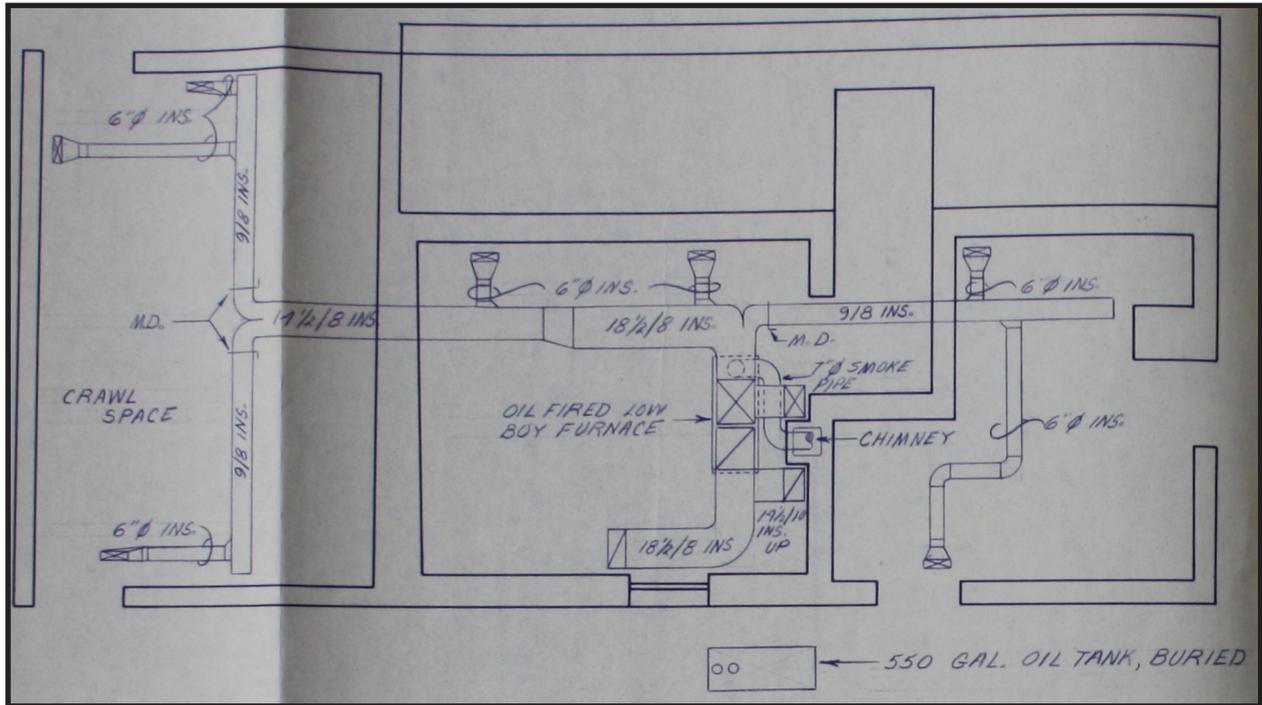
SCALE: 1/4" = 1'-0"	APPROVED BY	DRAWN BY: J.L. GRIFFIN
DATE: 25 FEB 75		
MASON HOUSE, FIRST FLOOR PLAN		DRAWING NUMBER
		M-4



MASON HOUSE FIRST FLOOR	
DRAWN BY: D.H.C.	DRAWING NO. MR-302
DATE 5/20/75	SCALE 1/4" = 1'-0"

FOUNDATION PLAN

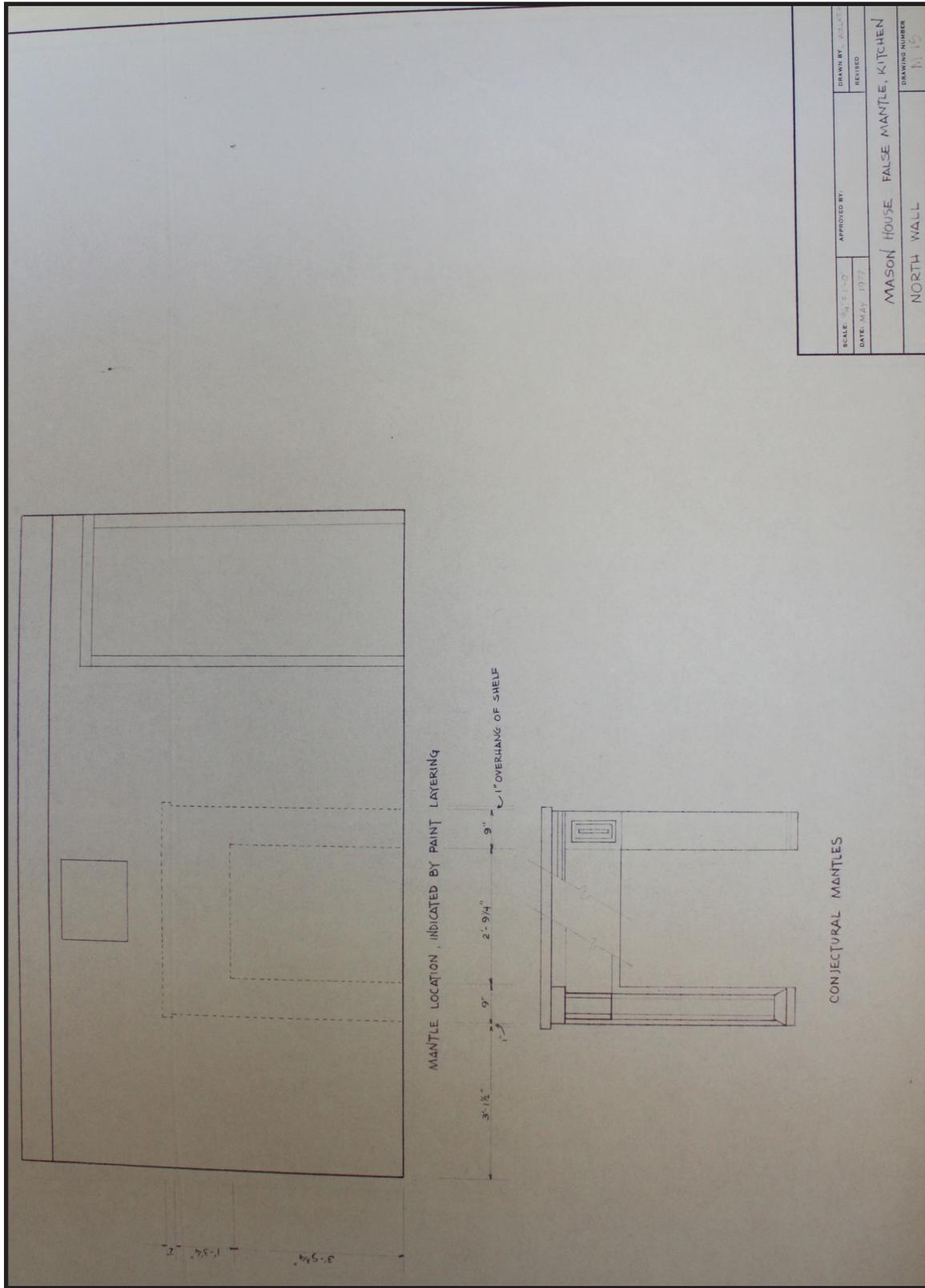




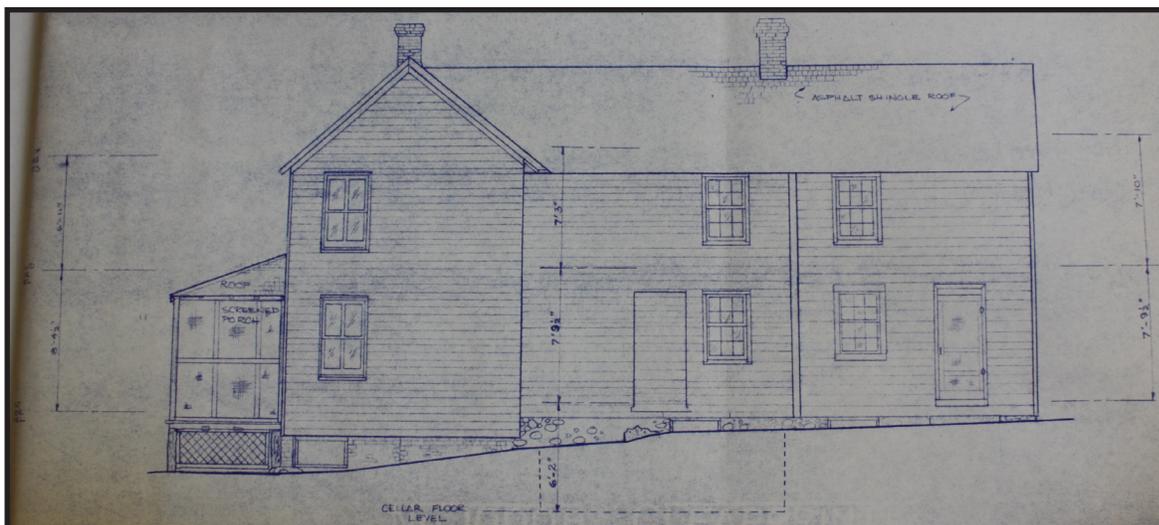
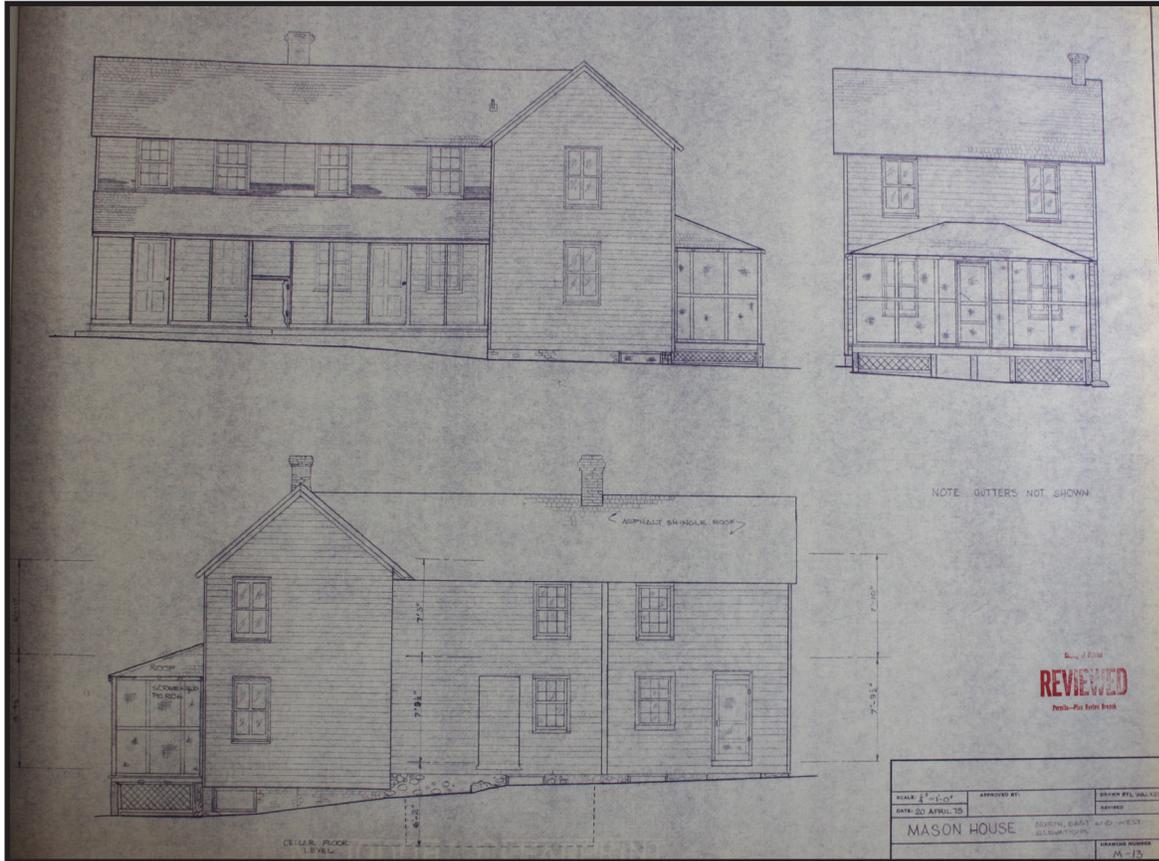
MASON HOUSE FOUNDATION PLAN	
DRAWN BY J.B.C.P.	DRAWING NO. MI-303
DATE 5/20/75	SCALE 1/4" = 1'-0"

SYMBOLS	
	TRANSITION
	SUPPLY AIR DUCT
	RETURN AIR DUCT
	MANUAL DAMPER
	F.R. FLOOR REGISTER
	C.R. CEILING REGISTER
	R.A.G. RETURN AIR GRILLE
	THERMOSTAT

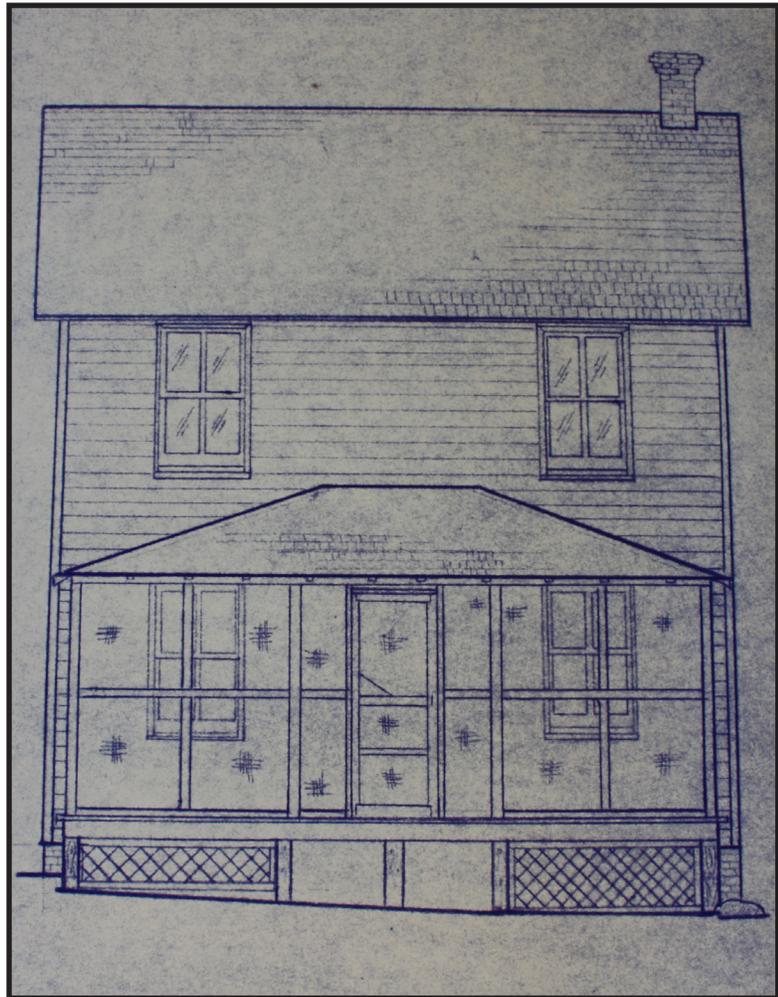
MANTLE LOCATION



NORTH, EAST & WEST ELEVATIONS



SCALE: $\frac{1}{4}'' = 1'-0''$	APPROVED BY:	DRAWN BY: WALKER
DATE: 20 APRIL 75		REVISED
MASON HOUSE NORTH, EAST AND WEST ELEVATIONS		
		DRAWING NUMBER M-13



PROPOSED EXTERIOR STEPS

The drawing consists of two views of a set of three steps. The front view on the left shows a total width of 4'-10" and a total height of 18" (divided into three 6" sections). The side view on the right shows a total width of 4'-0" and a total height of 18" (divided into three 6" sections). The steps are shown with a slight slope and a handrail on the left side.

FRONT VIEW

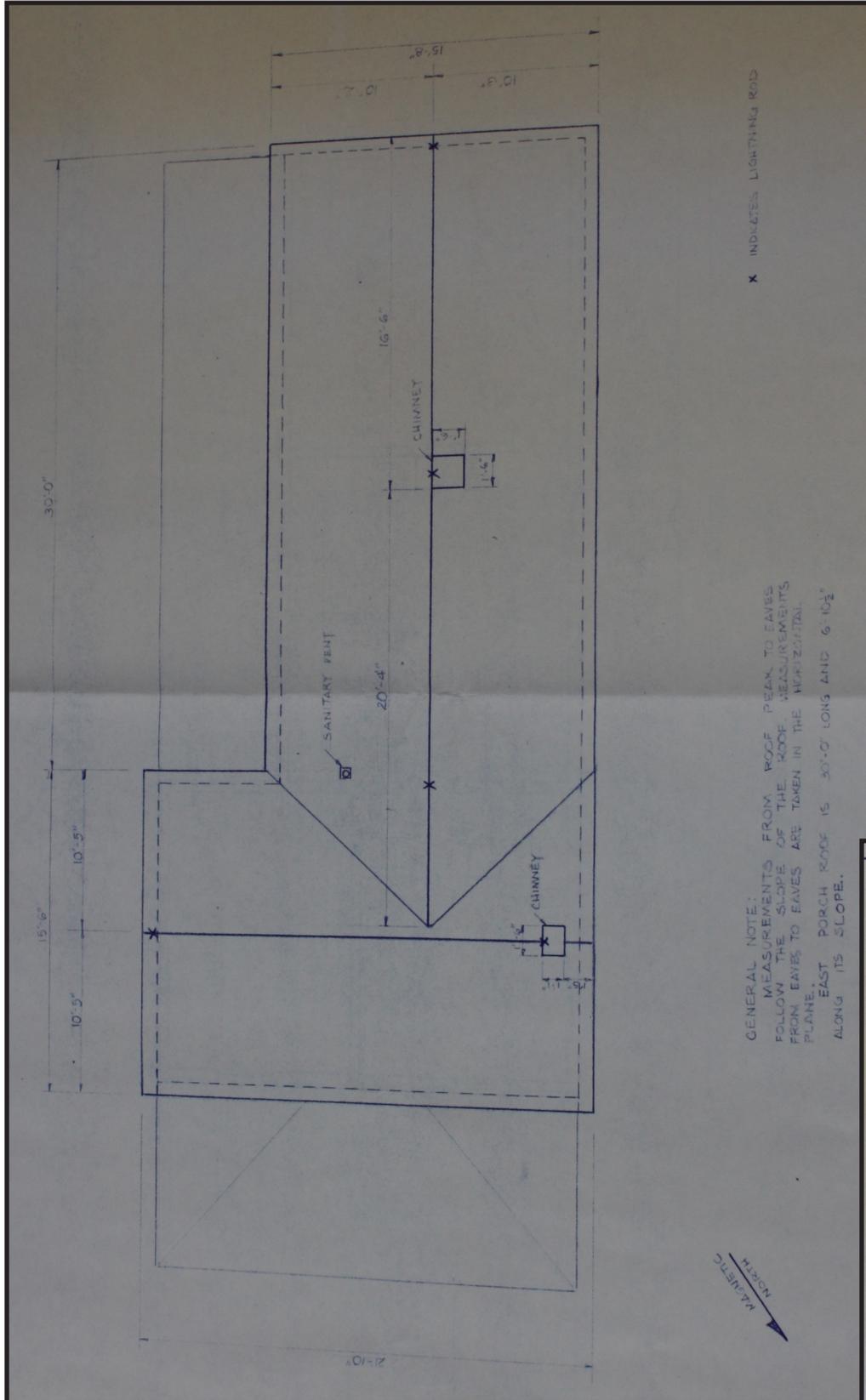
SIDE VIEW

NOTE:
 NORTH SIDE AND SOUTH SIDE STEPS
 ARE SHOWN AT ONE (1) RISE TWO
 TREADS.

REVIEWED
 Check of Details
 Prepared For Review

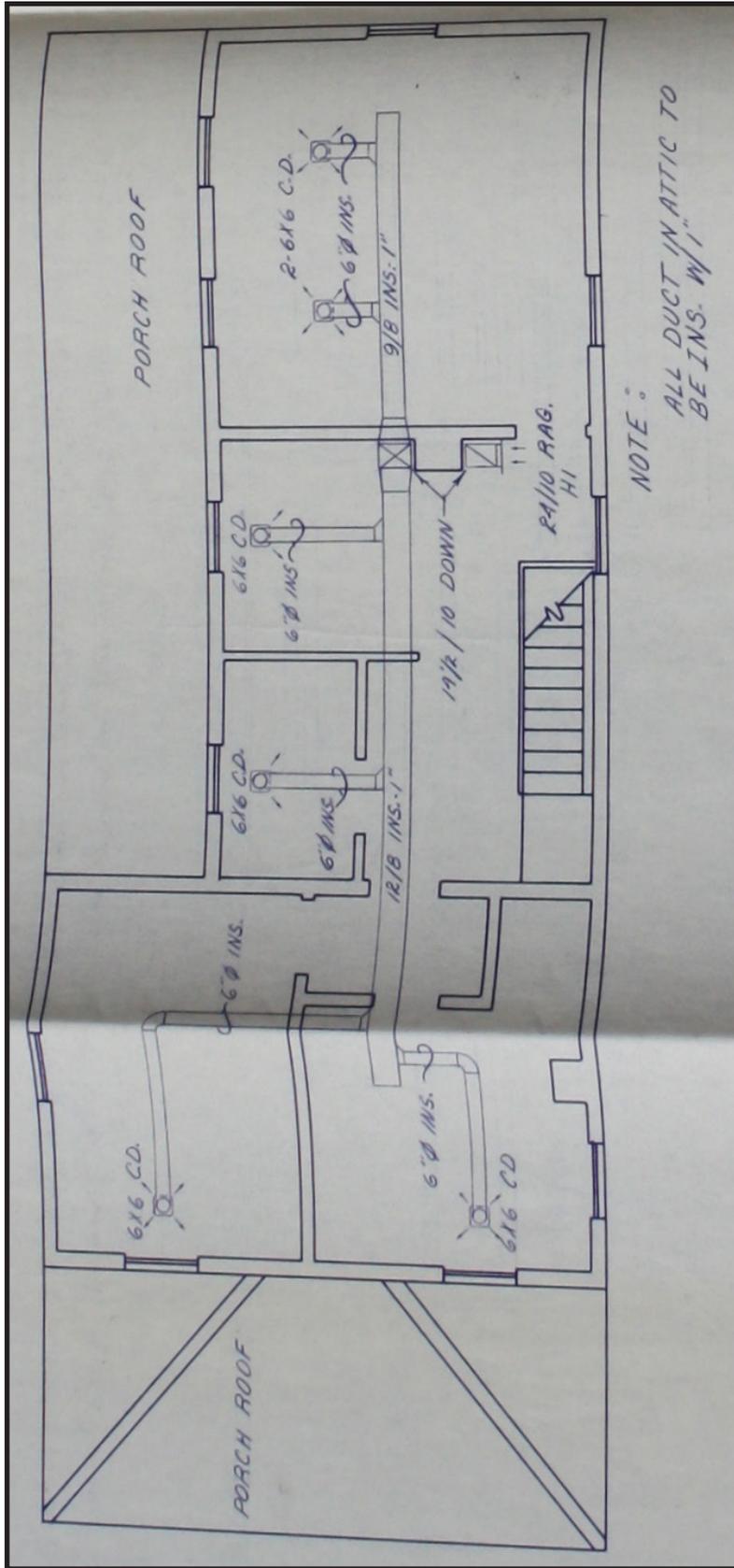
DATE: 11/11/11	APPROVED BY:	DRAWN BY: M-11
PROJECT NAME: PROPOSED EXTERIOR STEPS DETAILS		DRAWING NUMBER: M-11

ROOF PLAN



SCALE: 1/4" = 1'-0"	APPROVED BY	DRAWN BY: MALKER
DATE: 23 FEB 75		
MASON HOUSE, ROOF PLAN		DRAWING NUMBER
		M-2

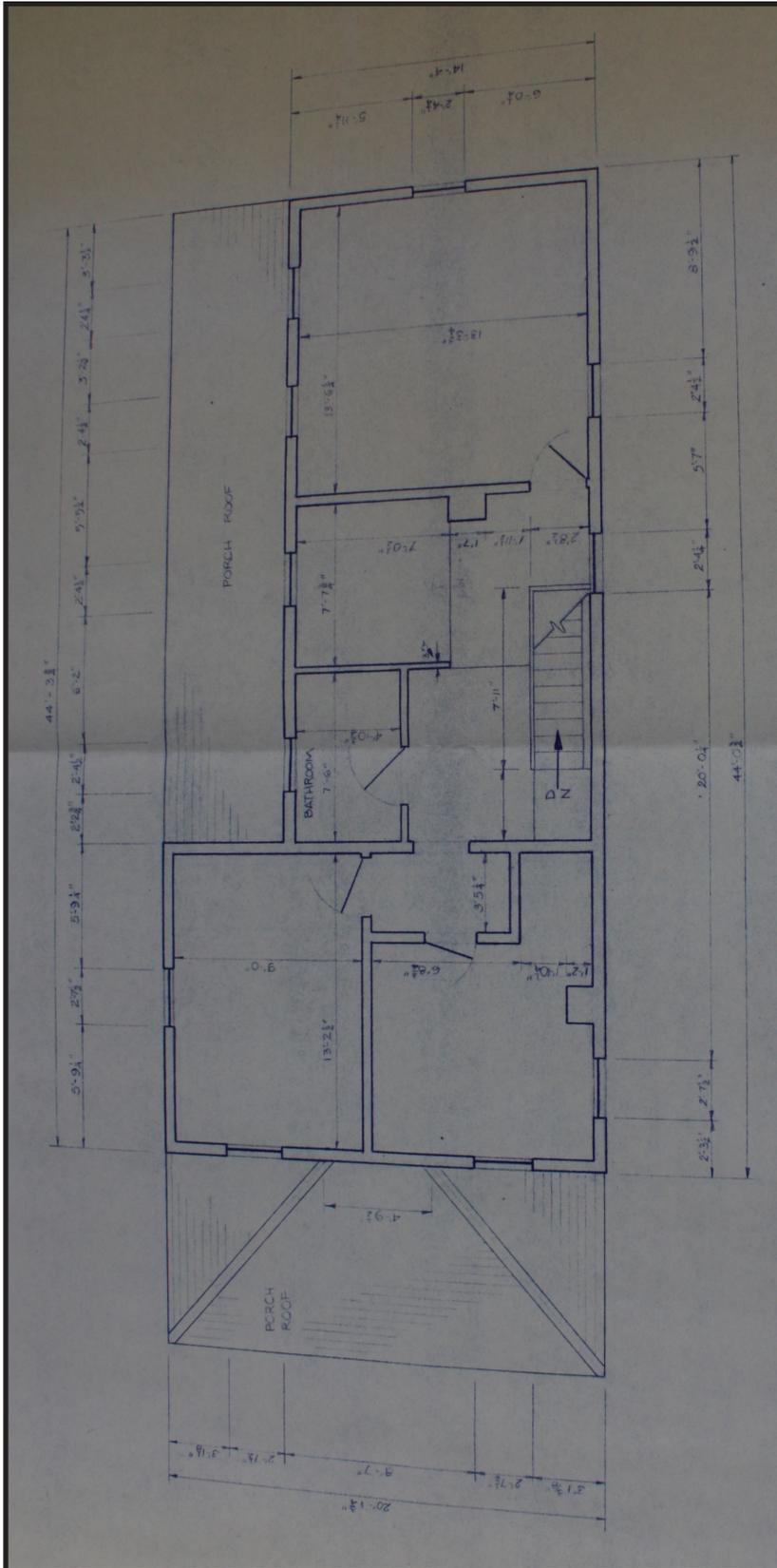
SECOND FLOOR & ATTIC PLAN



NOTE :
ALL DUCT IN ATTIC TO
BE INS. W/1"

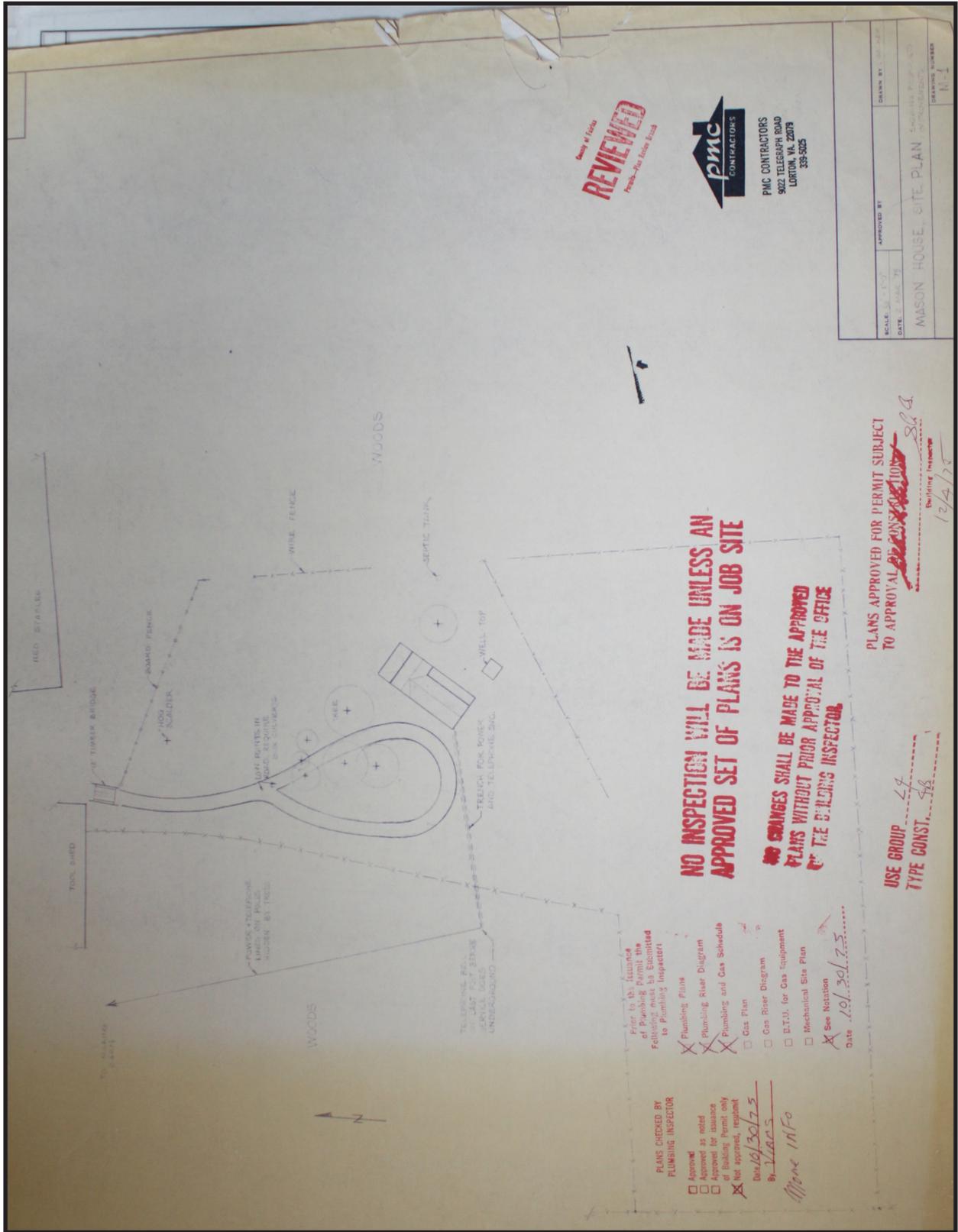
MASON HOUSE	
SECOND FLOOR AND ATTIC PLAN	
DRAWN BY: <i>[Signature]</i>	DRAWING NO. M3-301
DATE 5/20/75	SCALE - 1/4" = 1'-0"

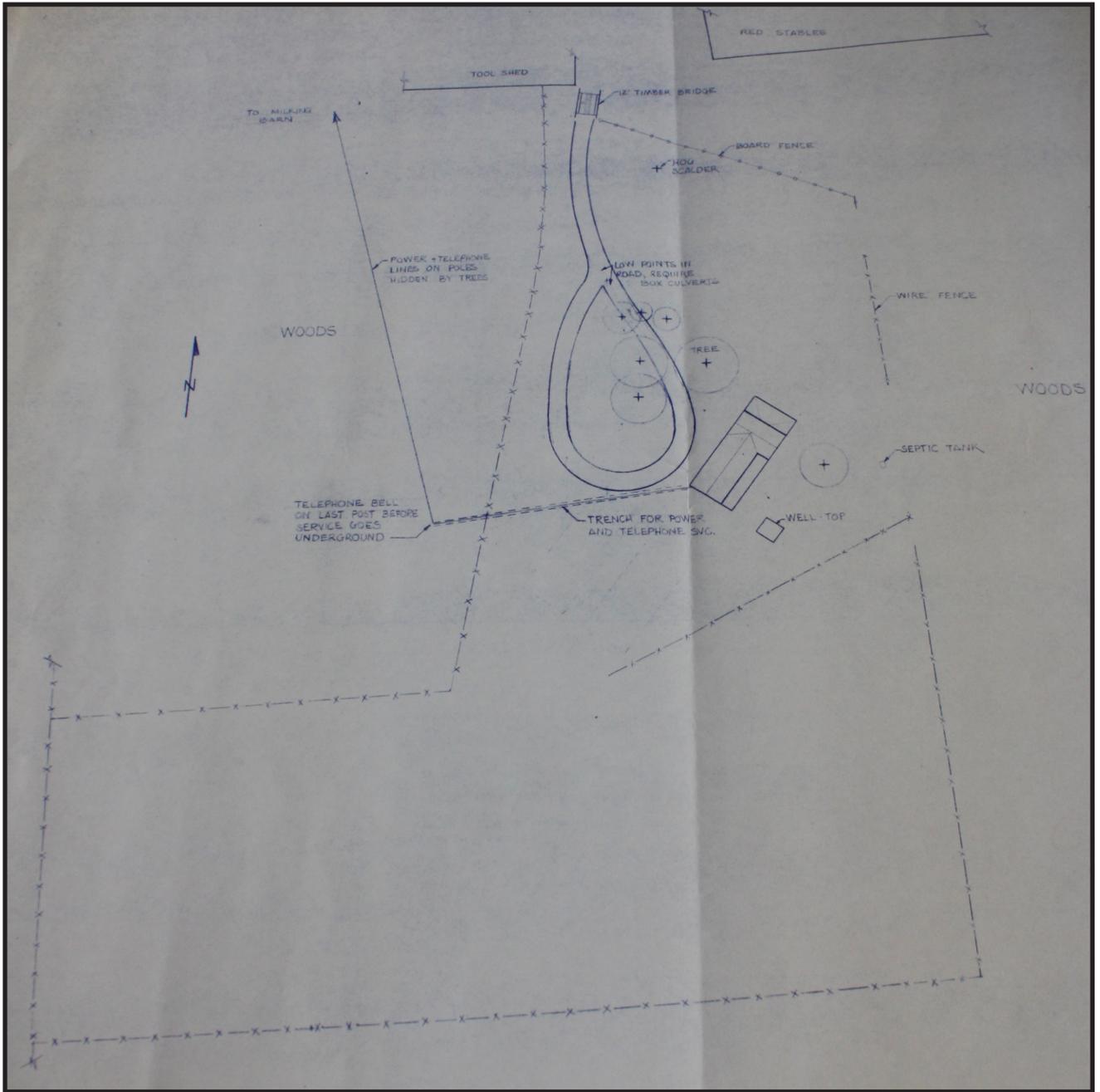
SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"		APPROVED BY	DRAWN BY L. WALKER
DATE: 28 FEB 75		MASON HOUSE, SECOND FLOOR PLAN	
		M-3	

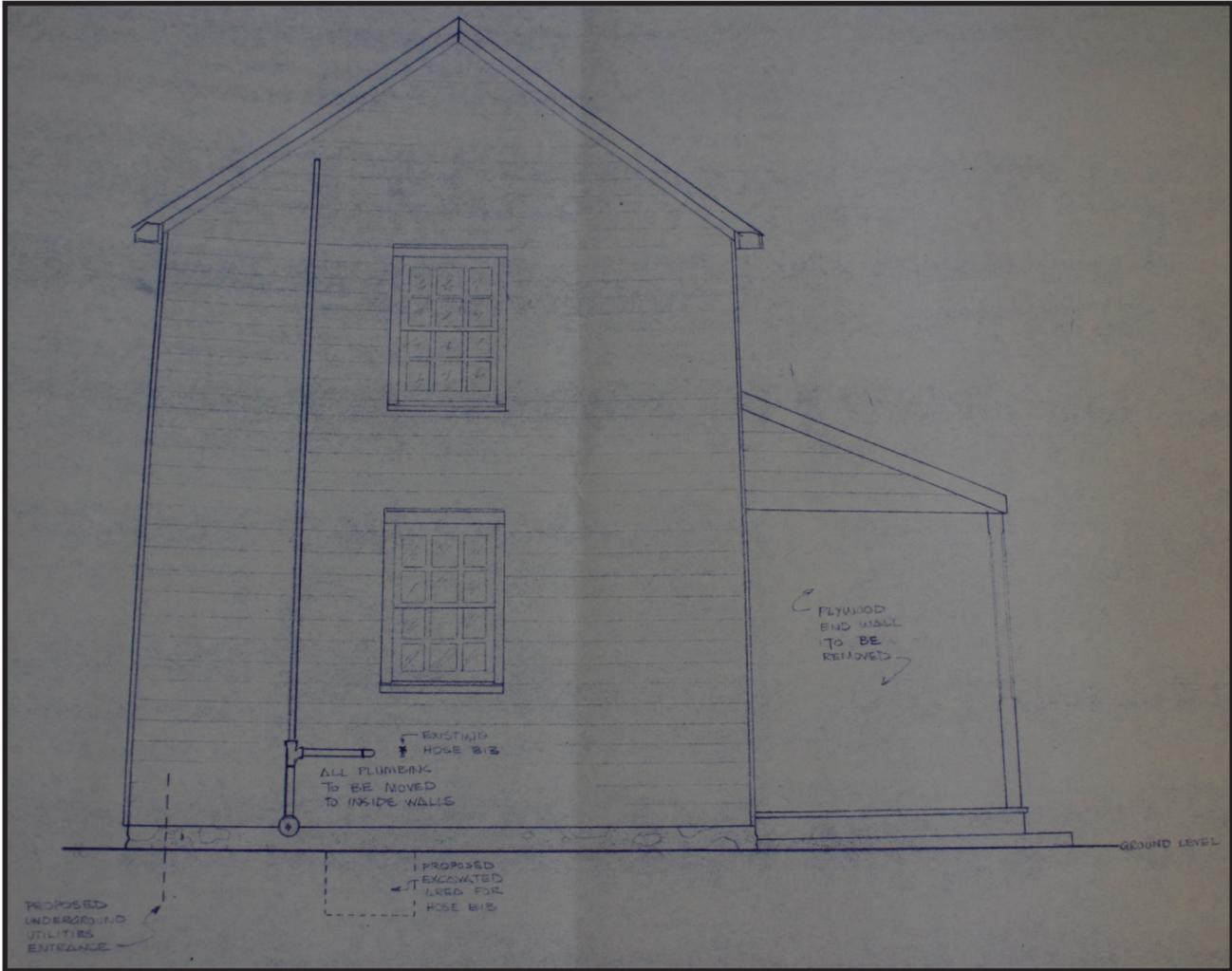
SITE PLAN SHOWING PROPOSED IMPROVEMENTS





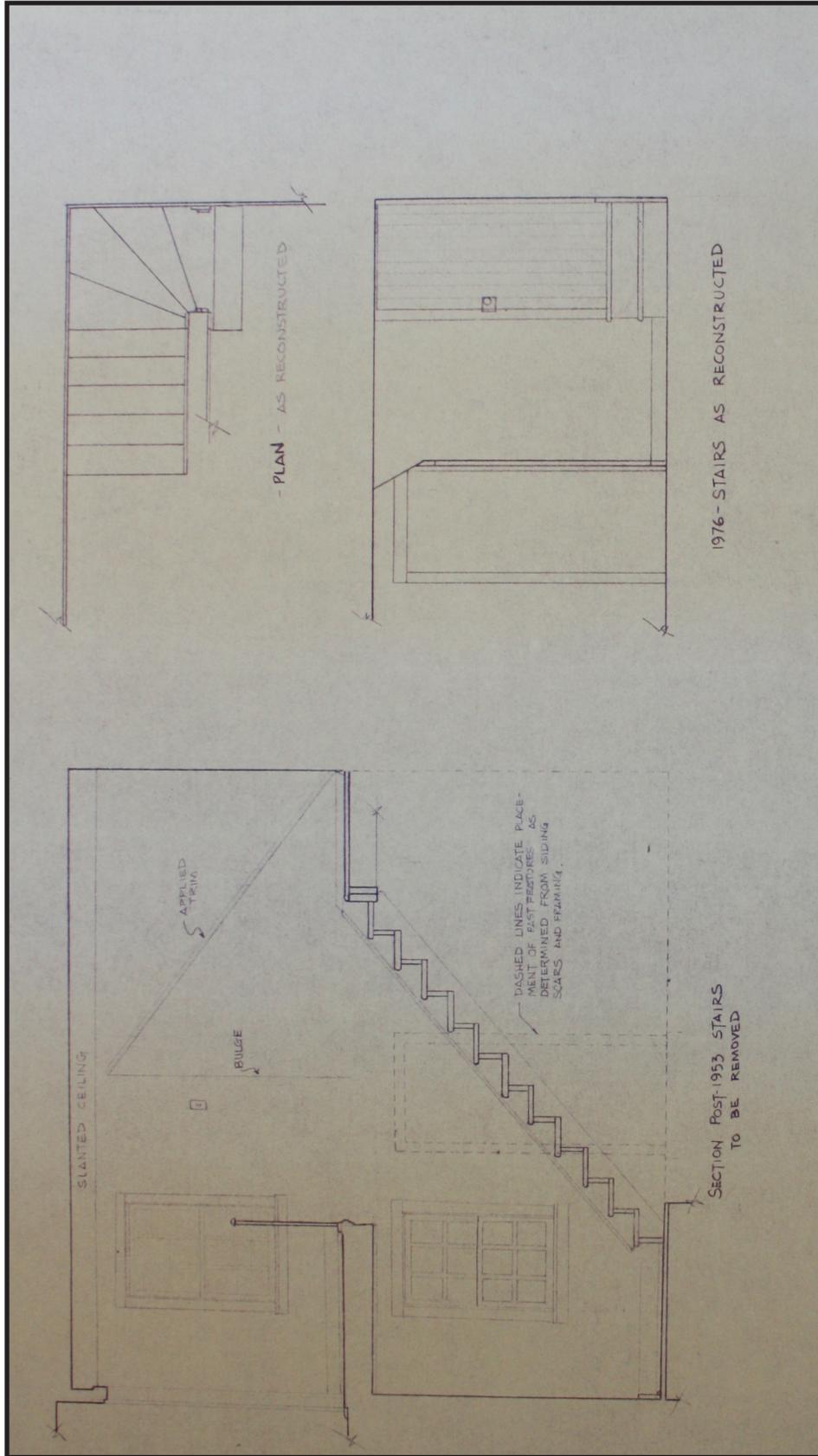
SCALE: $\frac{1}{32}'' = 1'-0''$	APPROVED BY	DRAWN BY L. WALKER
DATE: 2 MAR 79		
MASON HOUSE, SITE PLAN, SHOWING PROPOSED IMPROVEMENTS		
		DRAWING NUMBER M-1

SOUTH WALL WITH PROPOSED CHANGES

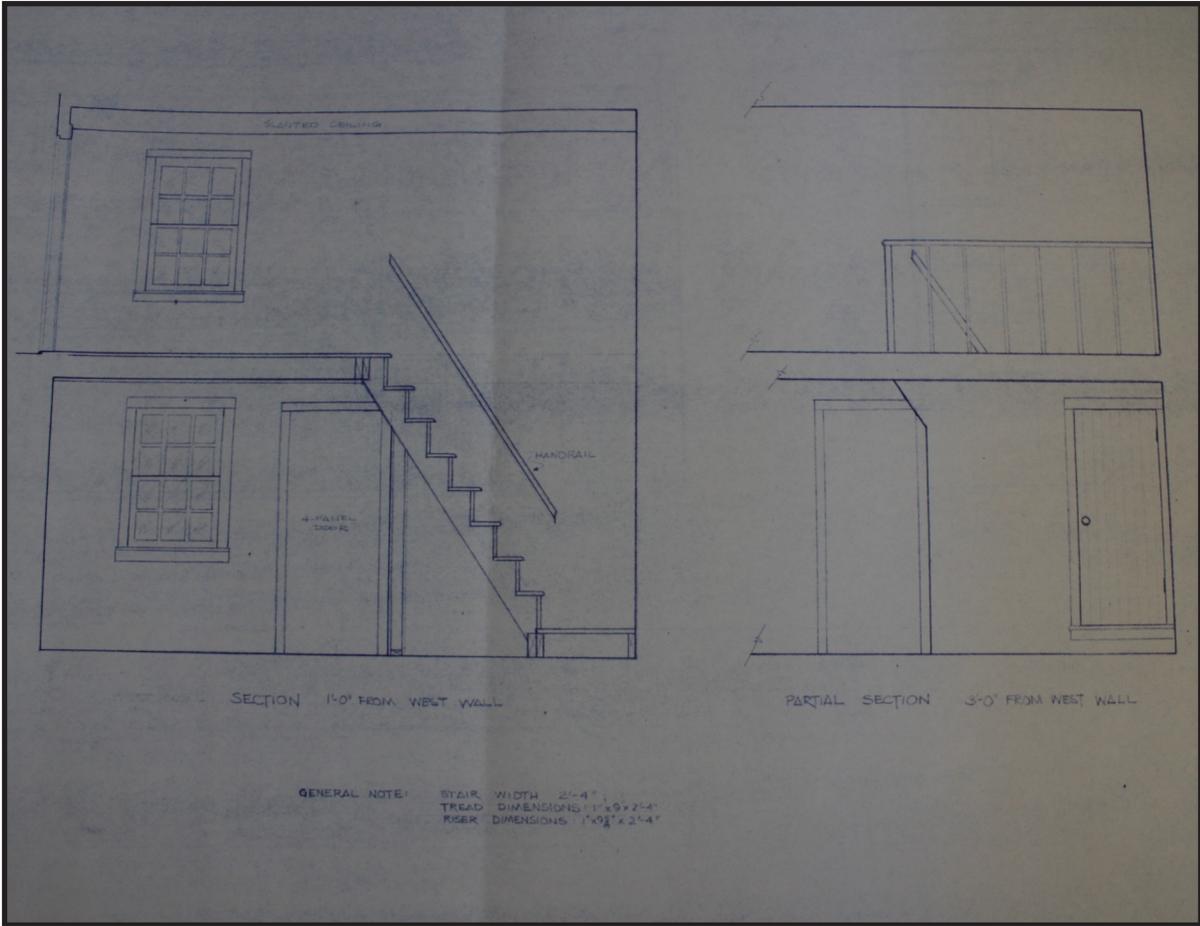


SCALE: $\frac{1}{2}'' = 1'-0''$	APPROVED BY	DRAWN BY: WALKER
DATE: 4 MAR 73		
MASON HOUSE, SOUTH WALL WITH PROPOSED		
CHANGES		DRAWING NUMBER M-10

STAIRWELL

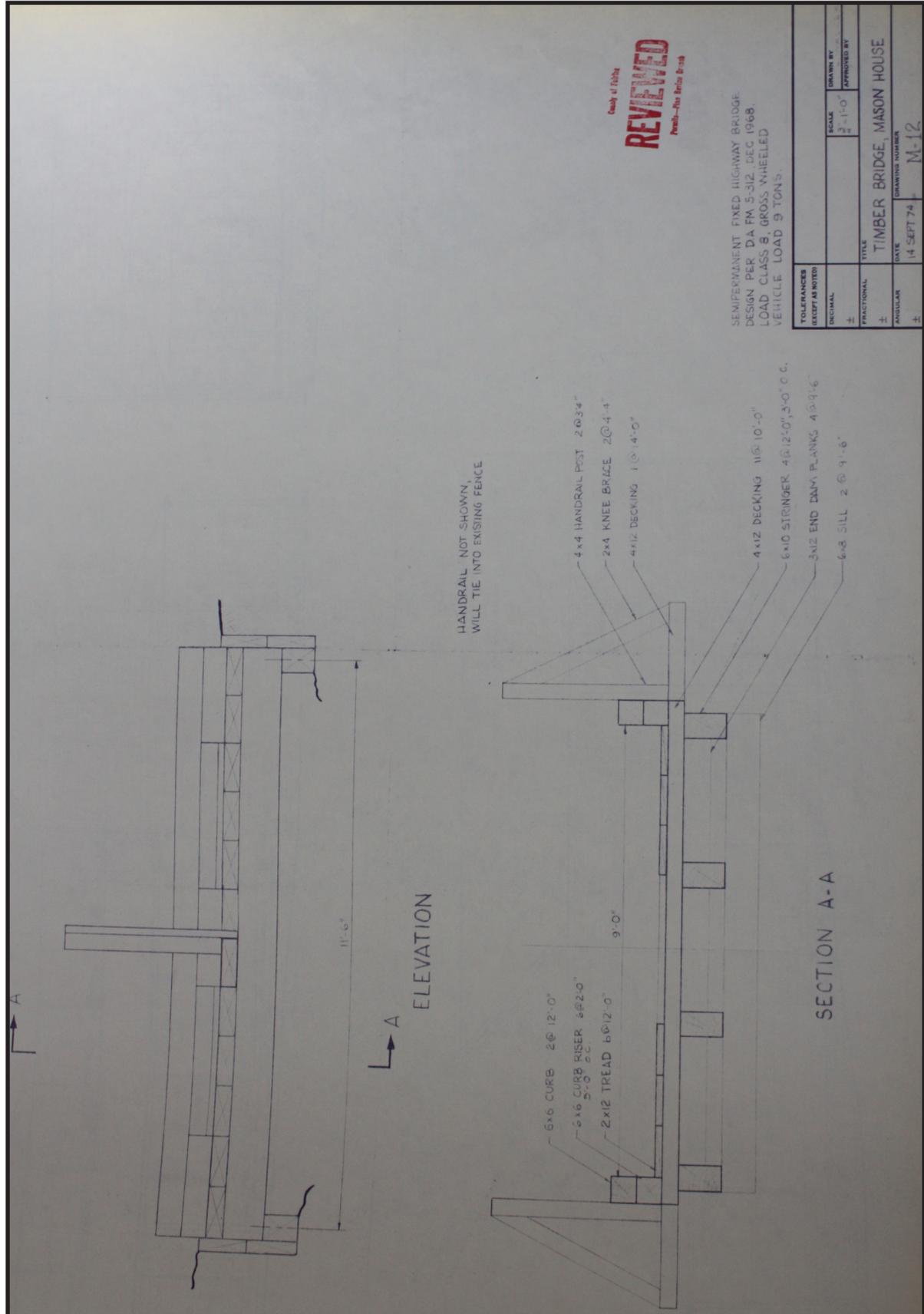


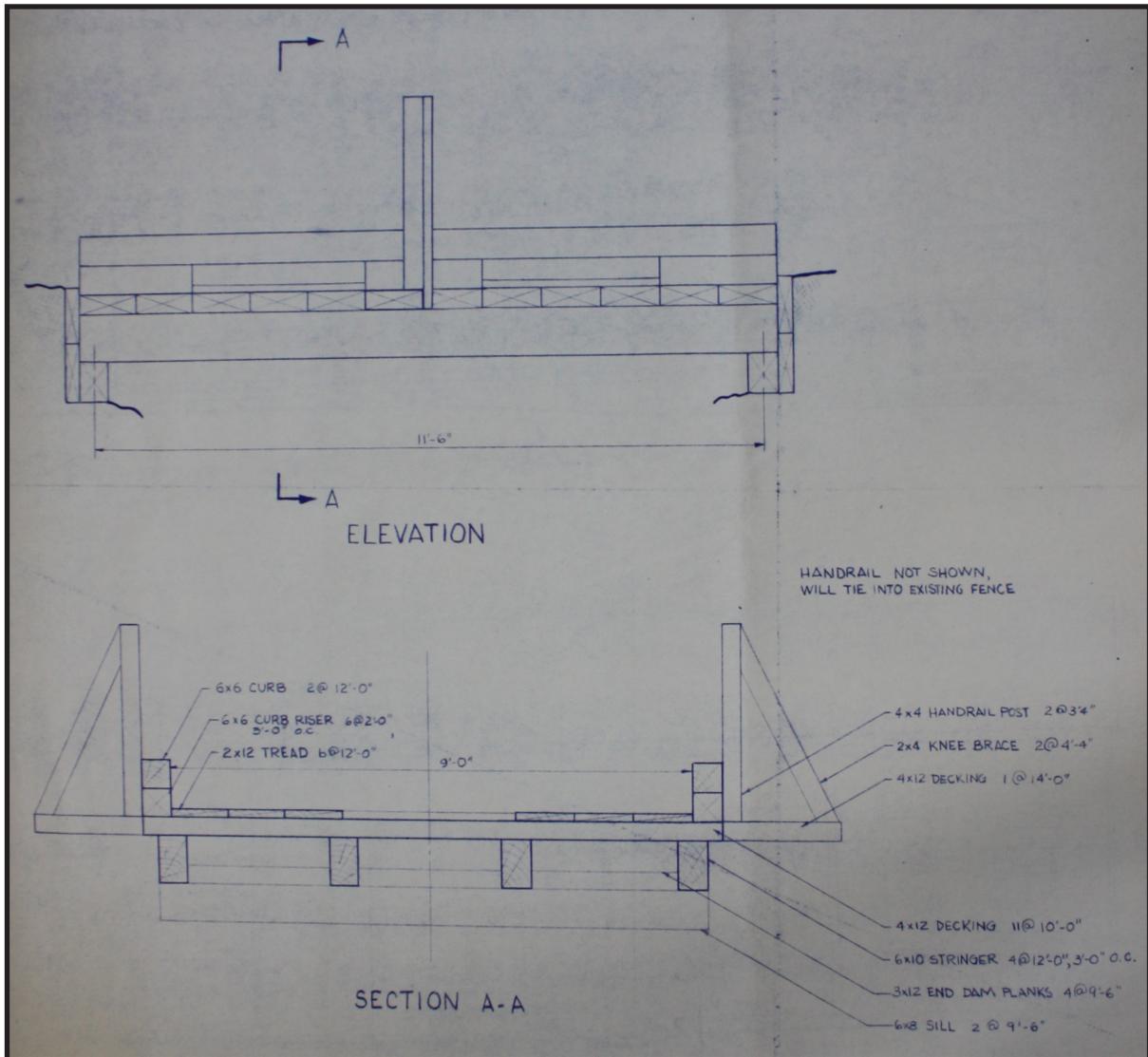
SCALE: $\frac{1}{8}'' = 1'-0''$		DRAWN BY L. WALKER	
DATE: 9 MAR 75		APPROVED BY	
MASON HOUSE, DETAIL OF PROPOSED			
STAIRWELL		DRAWING NUMBER M-8	



SCALE: $\frac{3}{8}'' = 1'-0''$	APPROVED BY:	DRAWN BY I. WALKER
DATE: 4 MAR 75		REVISED
MASON HOUSE, DETAIL OF EXISTING		
STAIRWELL		DRAWING NUMBER M-7

TIMBER BRIDGE





SEMIPERMANENT FIXED HIGHWAY BRIDGE
 DESIGN PER D.A. FM 5-312, DEC 1968.
 LOAD CLASS 8, GROSS WHEELED
 VEHICLE LOAD 9 TONS.

TOLERANCES (EXCEPT AS NOTED)			
DECIMAL		SCALE	DRAWN BY
±		4/32" = 1'-0"	L. WALKER
FRACTIONAL	TITLE	APPROVED BY	
±	TIMBER BRIDGE, MASON HOUSE		
ANGULAR	DATE	DRAWING NUMBER	
±	14 SEPT 74	M-12	

MADE IN U.S.A.

Appendix B.

Restoration Documentation 1974-1976

HERITAGE CONSERVATION AND RECREATION SERVICE
DEVELOPMENT PROJECT COMPLETION REPORT

GRANT NO. 90-74-00109-00

Miscellaneous Development

Woodlawn

National Trust for Historic Preservation
Office of Historic Properties
1785 Massachusetts Avenue N. W.
Washington, D. C. 20036

A. PROPERTY IDENTIFICATION

1. Woodlawn Plantation
Mount Vernon, Virginia 22121
2. Grant No. 90-74-00109-00

B. FISCAL REPORT

- | | |
|--|-----------------|
| 1. Total Project Cost: | \$42,919 |
| H.C.R.S. Share | 21,459 |
| 2. Final Cost Breakdown: | |
| Otis Mason House Restoration | |
| Restoration Workshop | \$ 5,088 |
| PMC Contractors | 26,183 |
| Material Purchases | 10,254 |
| Gutters on Mansion | |
| Price Roofing & Sheet Metal Corp. | 1,394 |
| | <u>\$42,919</u> |
| 3. H.C.R.S. Funds Expended | 21,459 |
| 4. Source of Other Funds: | |
| Federal -- None | |
| Non-Federal -- Available through donations of cash and securities, investment income, membership income, admissions, tour and special event income, preservation shop sales, advertising and royalty income. | |
| 5. Project Supervisors: | |
| Nathaniel P. Neblett, AIA | |
| Historical Architect | |
| George Smith | |
| Administrator, Woodlawn | |

C. CERTIFICATION OF PUBLIC BENEFIT

In accordance with the Charter of the National Trust, this property will be maintained in perpetuity as a museum for public use and enjoyment.

D. CERTIFICATION OF CONFORMANCE

This project was conducted and completed in conformance with the Secretary of the Interior's Standards for Historic Preservation Projects.

E. REPORT & ILLUSTRATIONS

1. Otis Tufton Mason

This house, located south of the stables across US Route #1 from the Woodlawn Mansion, was long used as living quarters for stable help. As such, it was subjected to a great deal of abuse; indeed, a kitchen fire several years ago resulted in substantial damage to the southwest end of the building. Although somewhat secluded and, perhaps, not of museum interest, the house does have an interesting history and is worthy of preservation.

A young Army officer and his wife stationed at Fort Belvoir became interested in restoring the house for use as a residence and made such a proposal to the National Trust. This cooperative agreement, unlike any preservation vehicle undertaken by the Trust heretofore, seemed a viable means for rehabilitating the building as well as a worthwhile social experiment. Captain & Mrs. Walker agreed to supply labor during the course of the restoration, the National Trust agreed to furnish materials, preservation expertise, and certain specialized craftsmanship beyond the capability of the Walkers.

The Walkers moved into the house immediately and commenced archaeological investigation including probing into the structure. The building sequence was determined and certain appurtenances such as brick walks and well location were uncovered. The major change indicated on the interior was the reversal of the stair to conform to the evidence of the original as discovered on the northwest wall.

Plans for the basic rehabilitation of the shell were formulated which provided for upgrading of the electric and plumbing systems, a new wood-shingle roof, rehabilitation of the kitchen area, and upgrading the bathroom.

The Washington-area restoration carpenter was assigned to assist in such areas as gypsum-board installation and finish-trim work. The restoration painter rendered assistance on surface preparation and special effects.

Captain & Mrs. Walker did most of the finishing work for the project. Although electric heat was installed, they depended upon stoves for cooking and comfort purposes.

Since they moved out, the house has continued to serve as rental property. Certain modifications have been required in the interest of efficiency and energy conservation.

More than likely, the house will continue to serve as a residence for someone interested in the experience of dwelling in an historic house.

2. Gutters & Downspouts

During one of its several remodellings, Woodlawn was fitted with six-inch half-round gutters along the eaves and four-inch round leaders made of copper sheet. Certain segments of the system had developed leaks due to cracks or holes, had become misshapen or dislodged, or were missing altogether. The purpose of this project was to restore the roof water drainage system to proper operaint order for the preservation of the masonry walls.

Specifications were written covering the work necessary to render the system fully operative and bids for accomplishing the work were solicited. That of Price Roofing & Sheet Metal Corp. of Lorton, Virginia was accepted as being most favorable to the National Trust and a contract was signed. The work proceeded without unusual incident and was satisfactorily completed. The work performed under this contract has remained satisfactory since completion.



MASON HOUSE- NORTH ELEVATION



MASON HOUSE- SOUTH ELEVATION





MASON HOUSE-EAST ELEVATION



MASON HOUSE- WEST ELEVATION



MASON HOUSE - PORCH DETAIL



MASON HOUSE -RESTORED STAIR



MASON HOUSE- BASEMENT HATCH



MASON HOUSE - CHAMFERED POST DETAIL



MASON HOUSE - WINDOW DETAIL



MASON HOUSE- INTERIOR STAIR

Appendix C.

Owens Repairs 1992-1993

CHRISTOPHER OWENS
THE RESTORATION WOODWORKING COMPANY
HC6 BOX 317
MADISON, VA 22727
TELEPHONE: (703) 923-4989

JOB REPORT: MASON HOUSE

NT-PR-13167-93 APRIL 1993

REF: "REPAIR PROCEDURE: MASON HOUSE"

SITE CONDITIONS WERE FOUND TO BE ENTIRELY CONSISTENT WITH THOSE OUTLINED IN THE SCOPE OF WORK AND WORK WAS PERFORMED EXACTLY IN CONFORMITY WITH THE INSTRUCTIONS GIVEN THEREIN WITH THE FOLLOWING EXCEPTIONS AND ADDITIONS.

10. FOUNDATION DRAIN WAS CONSIDERED UNNECESSARY
BURIED ELECTRIC LINE WAS REMOVED AND ABANDONED
15. BITUMINOUS FELT INSTALLED AS SHEATHING
16. SIDING WAS SCREWED TO STUDDING WITH #9 x 2 1/2" "FASTAP"
DECKING SCREWS

IN ADDITION:

1. THE FOUNDATION TRENCH WAS TREATED AGAINST TERMITES ON APRIL 9
2. ACTIVE TERMITES DISCOVERED IN PUNCHED GIRDER, LEADING TO THOROUGH INSPECTION OF CRAWL SPACE AND APPLICATION OF ADDITIONAL TREATMENT APRIL 15
3. VERY POOR FLASHING DETAIL WAS NOTED AT INTERSECTION OF PORCH ROOF PLANE AND CORNER BOARD. GREAT CARE WAS TAKEN TO INSURE INTEGRITY OF FLASHING SYSTEM AND AN IMPROVED ARRANGEMENT WAS INSTALLED. THIS FAULTY FLASHING DESIGN WAS VERY LIKELY THE CAUSE OF THE GREATER PART OF THE ROT AND DECAY OF THE CORNER POST AND FRAMING.

NOTE: THERE WERE SEVERAL PERIODS OF HEAVY RAIN AND STRONG WIND DURING THE COURSE OF THIS WORK. IT WAS OBSERVED THAT WATER RUN OFF WAS RAPID, WITH NO PONDING, AND THE SITE DRIED QUICKLY. I DON'T THINK ELABORATE RE GRADING IS AT ALL NECESSARY.

C.O. 4/28/93

CHRISTOPHER OWENS
THE RESTORATION WOODWORKING COMPANY
HC6 BOX 317
MADISON, VA 22727
TELEPHONE: (703) 923-4989

REPAIR PROCEDURE: MASON HOUSE
STABILIZATION OF S. CORNER, 1893 ADDITION
A PHOTOGRAPHIC AND WRITTEN RECORD IS TO BE KEPT

1. Shore and stabilize addition (see diagram), install solid cribbing beneath first floor joists to level ground contact. Install jacks between first floor and second floor ceiling. Jacks to bear upon joists, padded 2" x 6" plates at ceiling.
2. Provide plastic tarpaulin to cover work area. Slip under siding at a height well clear of work area. Must extend to ground and be staked or weighted in place when site is closed. Must span entire gable end and at least ten feet of porch.
3. Clear away sills and foundation rubble. Save Bricks, remove insulation from floor joist bays as required. Cut off rotten end of puncheon girder. Clear away porch flooring a distance of nine feet from SW (stub) wall of addition. Remove pneumatic fasteners and stack boards for reuse.
4. Disconnect buried (UF) cable from electric supply before attempting any digging. Also beware of the buried sump pump drain line running tangentially away southward just SW of the corner.
5. Remove sufficient material to lower grade to a minimum of 8" below the underside of sills at the corner. This may not be done with powered equipment.
6. Hand dig foundation and footing trench. Digging spoil to be piled on plastic sheeting and kept covered until no longer needed, then disposed of as directed by NTHP/Woodlawn representative.
7. Referring to design drawings, install rebar for footings. Tie intersections. Bottom grid must be supported on 1" chairs. Upper grid may be laid on top of concrete as pour progresses. Do not drive stakes or rebar into ground beneath footing. Ground water will wick and corrode rebar.
8. Pour concrete footings. Concrete will have to be mixed on site in a portable mixer. There is no access to mason house for large trucks, 3,000 PSI concrete is required.

9. Build masonry foundation walls. Fill voids with concrete. SW sill must be bolted to foundation. Mud sill saddle anchors are acceptable.
10. Install foundation or rainwater drains as required. Back fill with gravel, then topsoil saved from trenching provide pipe conduit for buried electric cable.
11. Place termite shield and new pressure treated 6" x 6" SYP Sill Beams (Wolmanized .40). Shim tightly. Pack voids with hydraulic cement. Half-lap joints at corners to be pinned with a galvanized 60d spikes driven into pre-drilled holes.
12. Install pressure treated (Wolmanized .40) Nom. 2" x 6" #1 SYP joist sisters, 8'.0" long at relevant joists. Sisters to have 4" bearing on sill, full bearing on center-span puncheon girder. Bolt sisters to joists with five (each) 5" x 1/2" grade #5 galvanized bolts; square washers both sides. Space 1' - 0" from ends, 1' - 6" apart on joist sister centerline.
13. Carefully remove siding to a height of 8' above sill, SE (gable end) wall, and as high as possible without disturbing porch roof, SW (stub) wall. Remove insulation. Discard if wet or rodent damaged. Label and save siding boards for reuse. Stack on porch and cover. Disconnect and remove electric cables.
14. Install 1 1/2" x 4" pressure treated (.40 Wolman) # 1 SYP stud and corner post sisters as required. Rip from Nom. 2" x 6" stock. These to be 8' 0" long. At corners, first remove drywall nailers and trim drywall back away from posts. Cut off or pull through fasteners. At E Corner, slip five drywall corner clips on to exposed edge of panel, nail to post, then install sister. Screw drywall panels to sisters from inside. Screw sisters to studs and posts with 3" galvanized deck screws. Nail will disturb drywall fasteners and joints. Drill as required and reconnect electric cables.
- ✓ 15. Install new fiberglass batt insulation in wall cavities. Wrap opened area with tyvek infiltration barrier.
16. Reinstall old siding in original position. Use HDG 10d siding nails (Maize Brand) set and fill. Complete siding installation with material provided by Woodlawn Plantation. New material to be sealed and primed. Prepare corner trim boards to match existing. Use clear yellow pine. Install corner trim boards, seal and prime. Use oil-base sealer and primers. Be sure to back prime.

17. Reinstall under-floor insulation.
18. Reinstall porch floor. Note: This floor was installed in 1976 with 2" barbed sub floor fasteners using a pneumatic nail gun. These fasteners do not hold the boards down properly. Relay with 2 1/4" galvanized deck screws.
19. Relocate and securely install gutter leader, direct run off away from building.
20. Close opening under SE sill with pressure-treated lattice or similar screening. Good ventilation is essential. A 6 mil polyethylene ground cover/vapor barrier should be installed in crawl space.
21. Clear site, remove all debris. Site should be kept neat and tidy at all times.



National Trust for Historic Preservation

MEMORANDUM

TO: Linda Goldstein, Director, Woodlawn Plantation & Pope/Leighey House
Christopher Benton, Buildings & Grounds Superintendent

FROM: Christopher Slusher, Architect, Technical Services
Stewardship of Historic Properties *Chris*

DATE: 30 September 1992

SUBJECT: Comments on review of Christopher Owen's scope of work for Otis T. Mason House foundation and wall repairs

It appears that Chris Owens has done a nice job of investigating and describing on paper the extent of deterioration found at the Mason House and the proposed methods for remedying the problems. I am sure that a lot of this good work is also due to Chris Benton's involvement and assistance, and he is to be congratulated on this as well. There are a few items that I would like to offer as areas for thought or to include in the final scope of work, i.e., perhaps write into the contract as addenda to the work Chris Owens has supplied. They are as follows; please give me a call to discuss them so that we can decide how many of them deserve inclusion in the final contractual agreement.

1. Ref. Item #1: The scope of work gives a specific jacking and shoring scenario, but we should also be open to an alternate method(s) if a bidder is accustomed to doing it differently. We should, however, be sure that it is clear to bidders that they are to be responsible for providing the temporary jacking and shoring for the work (which I think the scope of work does adequately).

Ref. Item #3: We must insure that contractors will be sensitive to the need to watch for archeological remains, and that, if encountered, are diligent about stopping work and notifying NT representatives of the incident.

Ref. Item #7: The scope of work calls for filling the voids of CMU with concrete or mortar, which is a good practice. Did Chris Owens give consideration to the need for horizontal reinforcement, in the form of wire mesh embedded in each or every other mortar joint? I realize that the footings will have rebar reinforcement, but in case there is vertical movement, horizontal reinforcement may prove helpful.

flexible
Send Lynn ask alert contractor
Eric

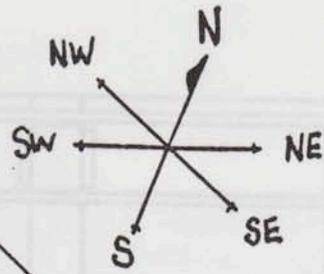
MEMO: Goldstein/Benton
30 September 1992
Page 2

4. Ref. Item #10: If foundation drains are required, the language of the scope of work should be more forcefully stated. Currently, it is left up to the contractor as to whether drains will be installed, and that may not get us the most desirable result. Also, if drains are installed, filter blanket material should be used to keep dirt from invading the pipe and potentially clogging the system. *Graphic Standards* has a typical detail for foundation drains, and this includes the proper location of filter blanket material.

One other thought that we should give to this design is how far away from the footing should be the placement of the drain. More recent thought on this is that it should not be placed immediately adjacent to the footing, in case the system should become clogged in the future, and act as a collector for water that is then held against the footing - which is totally the opposite function that we hope such a drain system would have. This would be more critical if the foundation were composed entirely of brick, but in this case, it will be a new concrete footing and CMU wall. In this case, the drain may not need to be quite so far away from the footing, but it still seems prudent to keep it a foot or two away, just in case. This may impact on how much digging must be done, so we should discuss this more before arriving at a final decision.

5. Ref. Item #12: The square washers, referenced for use with the bolting of the sister joists to the original joists, should have barbs on one side in order to bite into the wood and provide a tight connection. Also, the drilled holes for the one-half inch bolts should be very tight so that the bolts must be forced or hammer-assisted into place. It is only through a very tight connection that the new material will perform the same as the old material does.
6. Ref. Item #15: Are you requiring that a vapor barrier be used in conjunction with the new insulation being installed between wall studs and floor joists? I would suggest that this be done, and that the vapor barrier be installed on the warm side of the space. Also, it is unclear where in the wall section the tyvek material is to be placed. More clarity is needed here.
7. Ref. Item #16: Set nails should receive primer first, then be covered with filler material. Also, although the last line mentions that wood should be backprimed, it should be made clear that all finish wood, both new and reused, should be backprimed before being put into place.
8. Ref. Item #17: If open lattice is used to close the foundation opening to the crawl space, an insect/rodent screen should be installed behind the lattice.

Linda and Chris, I will be in the office on Thursday, Friday and Monday, so give me a call when you are ready to discuss this material.



12
12

APPROX. LINE, PORCH ROOF

APPROX. ELEVATION OF SECOND FLOOR DECK
PORCH EAVE

SILL ABUTS MAIN BLOCK FOUNDATION

APPROX. GRADE →

CORNER, MAIN BLOCK

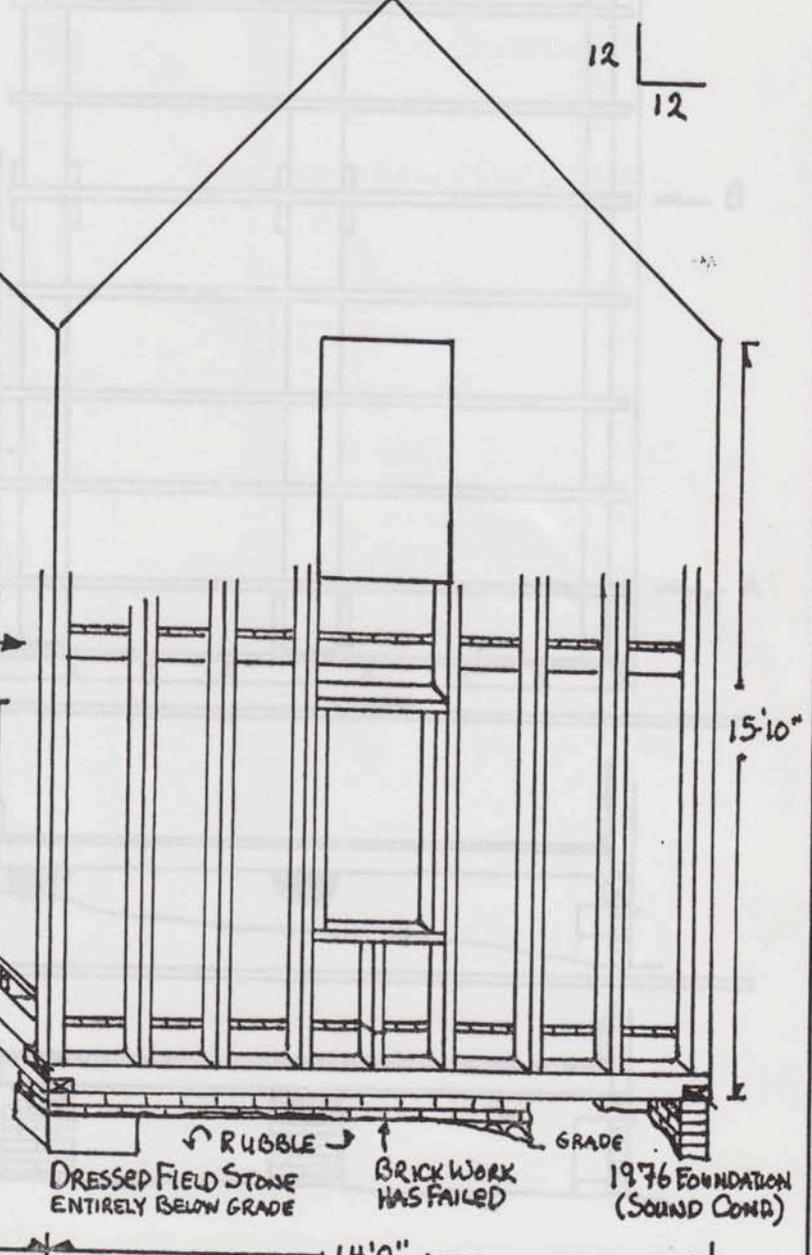
SW SILL RUINED, DETACHED, ON GROUND →

CORNER POST RUINED

SE SILL RUINED TO APPROX 3'-6" FROM CORNER

FIRST STUD, SE WALL, RUINED

→ THESE MEMBERS ARE PROVIDING
NO SUPPORT FOR STRUCTURE!



15'-10"

6'-3"

14'-0"

↙ RUBBLE ↘
DRESSED FIELD STONE
ENTIRELY BELOW GRADE

↑
BRICK WORK
HAS FAILED

GRADE

1976 FOUNDATION
(SOUND COND)

WOODLAWN PLANTATION, MASON HOUSE NTHP

DRAWING SCALE 1/4" = 1'-0" 9/2/92 (1893 ADDITION)

FROM ON SITE OBSERVATIONS 9/1/92

SILLS ARE 6" X 6" HEWN OAK; CORNER POSTS ARE

4" X 4" YELLOW PINE (SAWN) STUDS ARE 2" X 4" SAWN YELLOW PINE

drawing © copyright by:

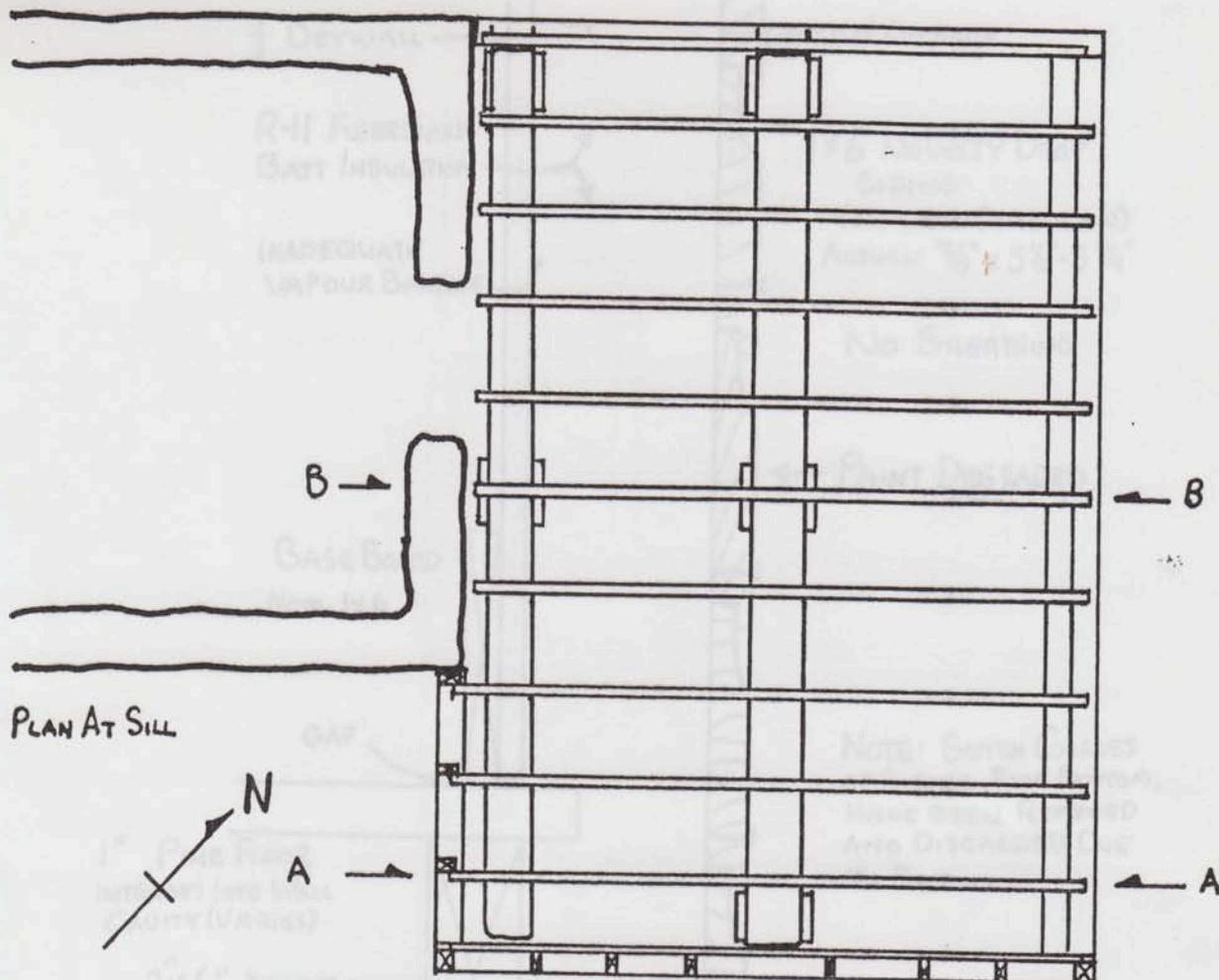
CHRISTOPHER OWENS

THE RESTORATION WOODWORKING COMPANY

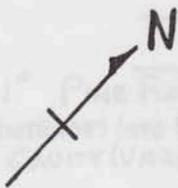
HC6 BOX 317

MADISON, VA 22727

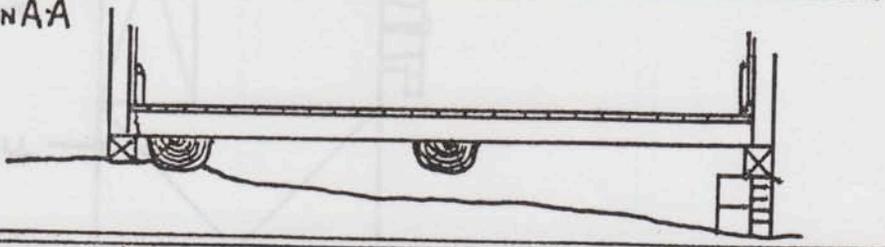
(703) 923-4989



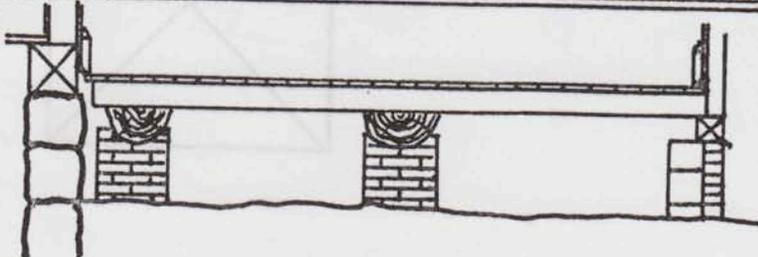
PLAN AT SILL



SECTION A-A

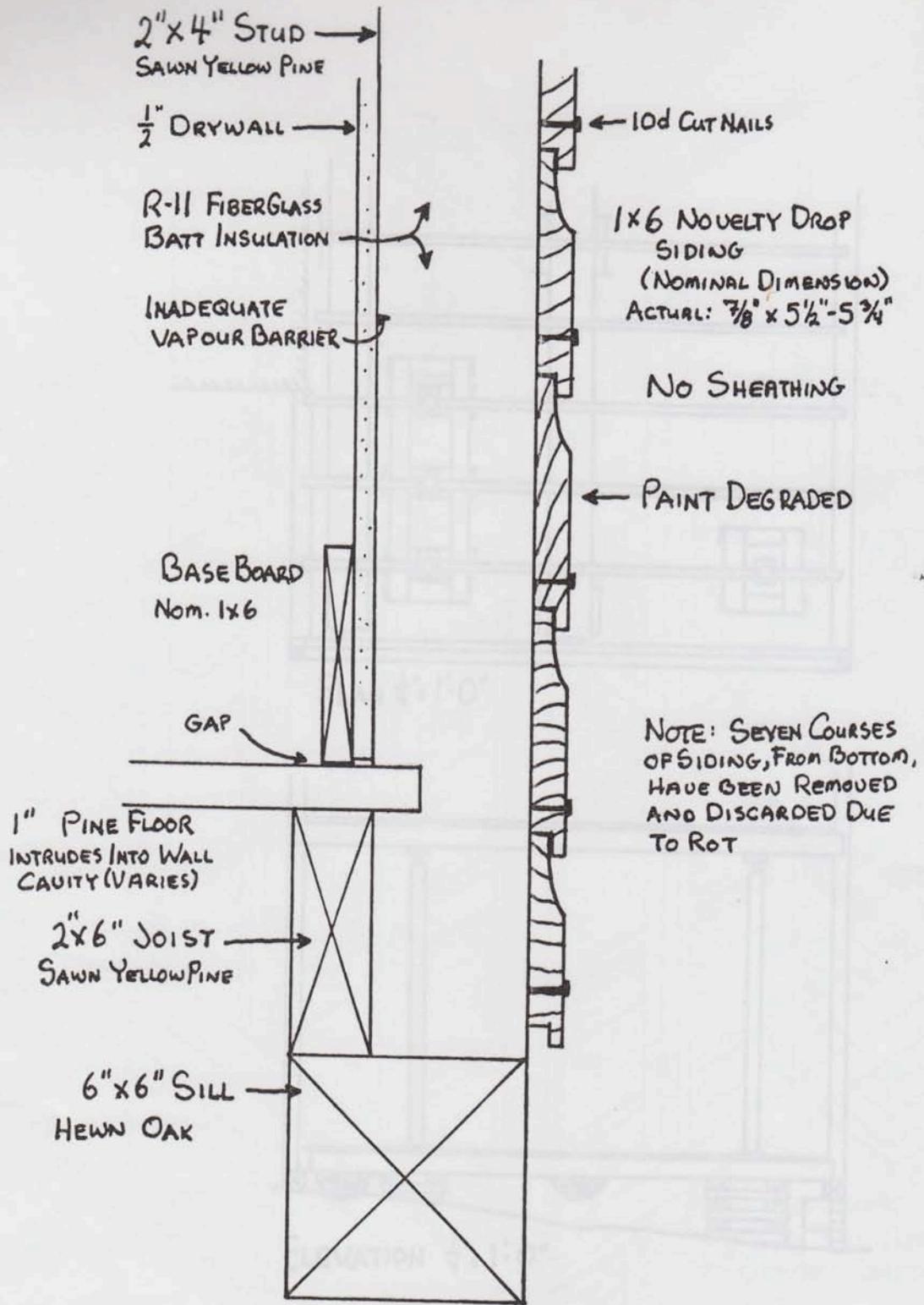


SECTION B-B



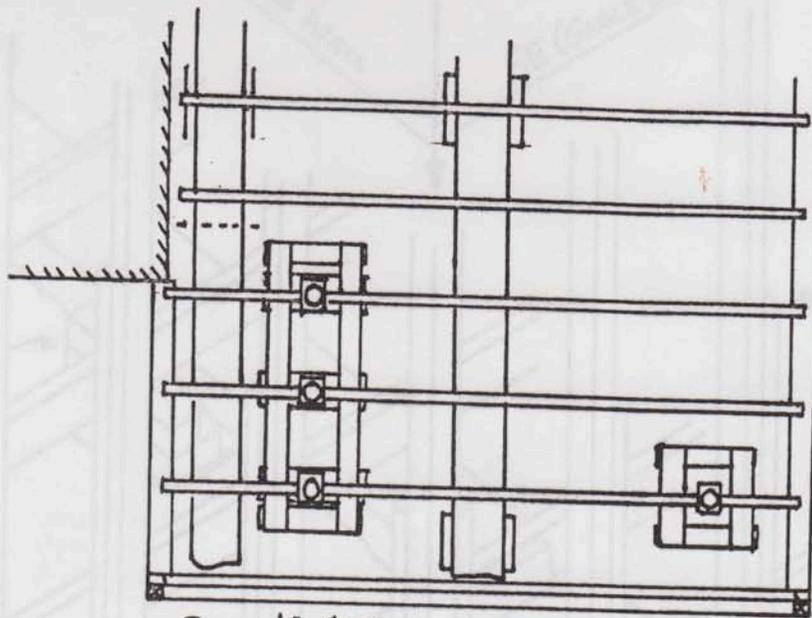
WOODLAWN PLANTATION: MASON HOUSE 1893 ADDITION NTHP
 DRAWING SCALE 1/4" = 1'-0" 9/12/92
 FROM ON SITE OBSERVATIONS 9/1/92
 PLAN & ELEVATION SECTIONS

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WOODLAWN PLANTATION: MASON HOUSE NTHP
 1893 ADDITION: SE (GABLE END) WALL ELEVATION
 DRAWING SCALE: 3" = 1'-0" 9/4/92

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PLAN $\frac{1}{4}'' = 1'-0''$



ELEVATION $\frac{1}{4}'' = 1'-0''$

WOODLAWN PLANTATION: MASON HOUSE NTHP
 1893 ADDITION FOUNDATION STABILIZATION AND
 FRAMING RECONSTRUCTION PROJECT 9/4/92
 SHORING AND JACKING DIAGRAM

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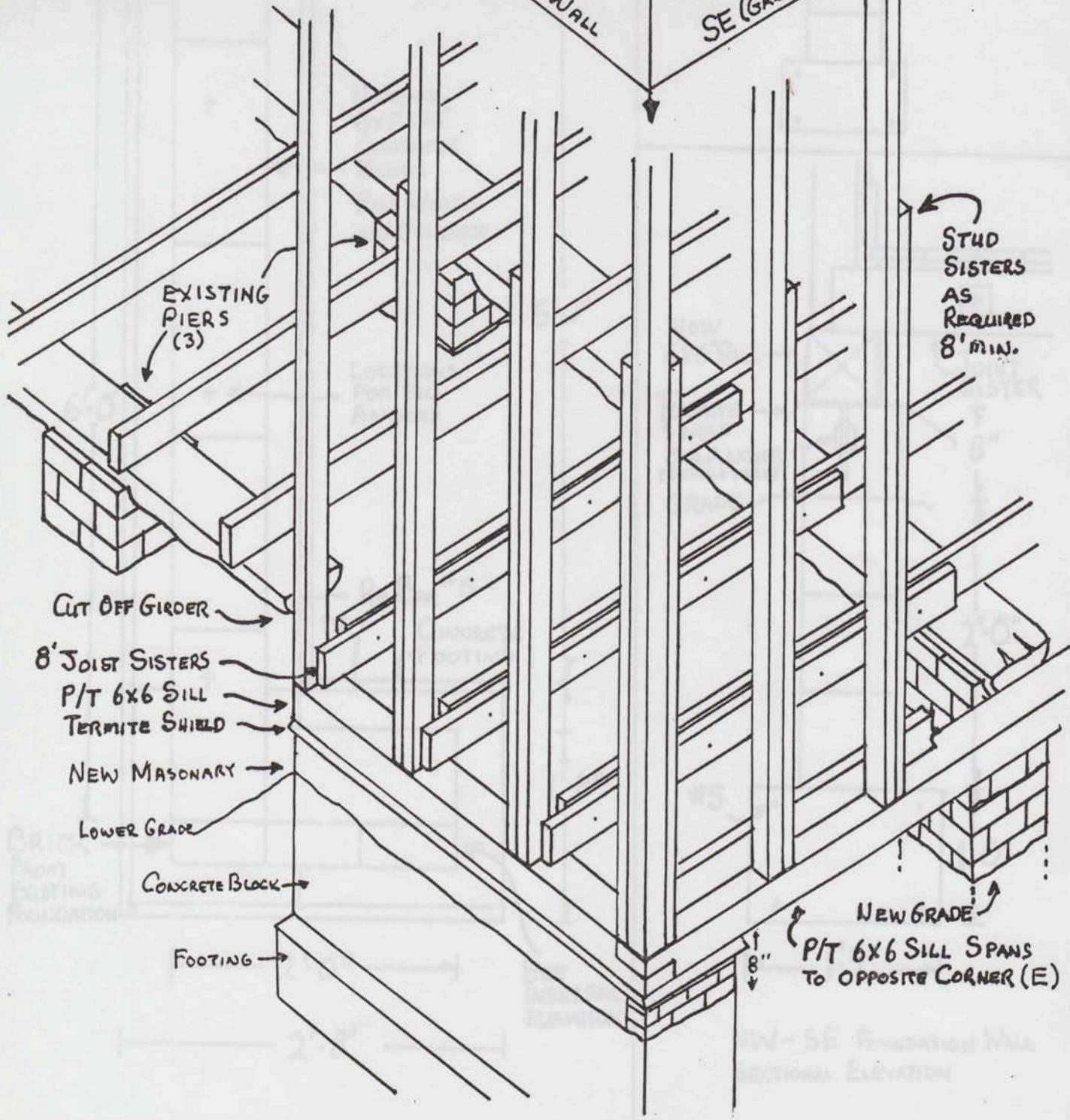
EAST CORNER,
MAIN BLOCK
ALL MAIN BLOCK
FEATURES DELETED

SW STUB WALL

SOUTH CORNER

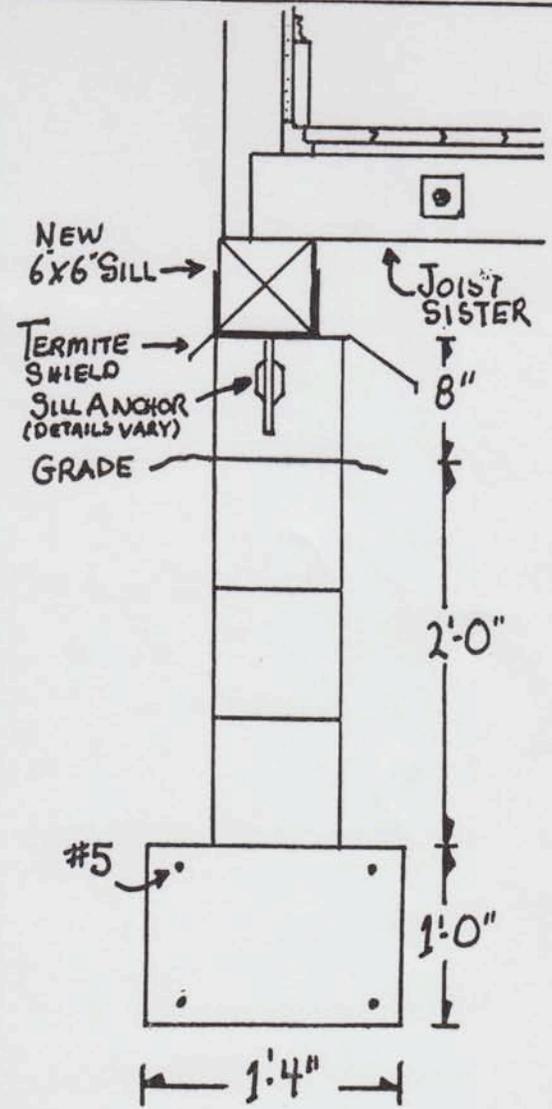
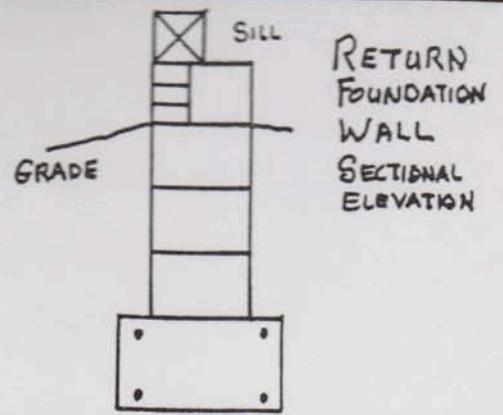
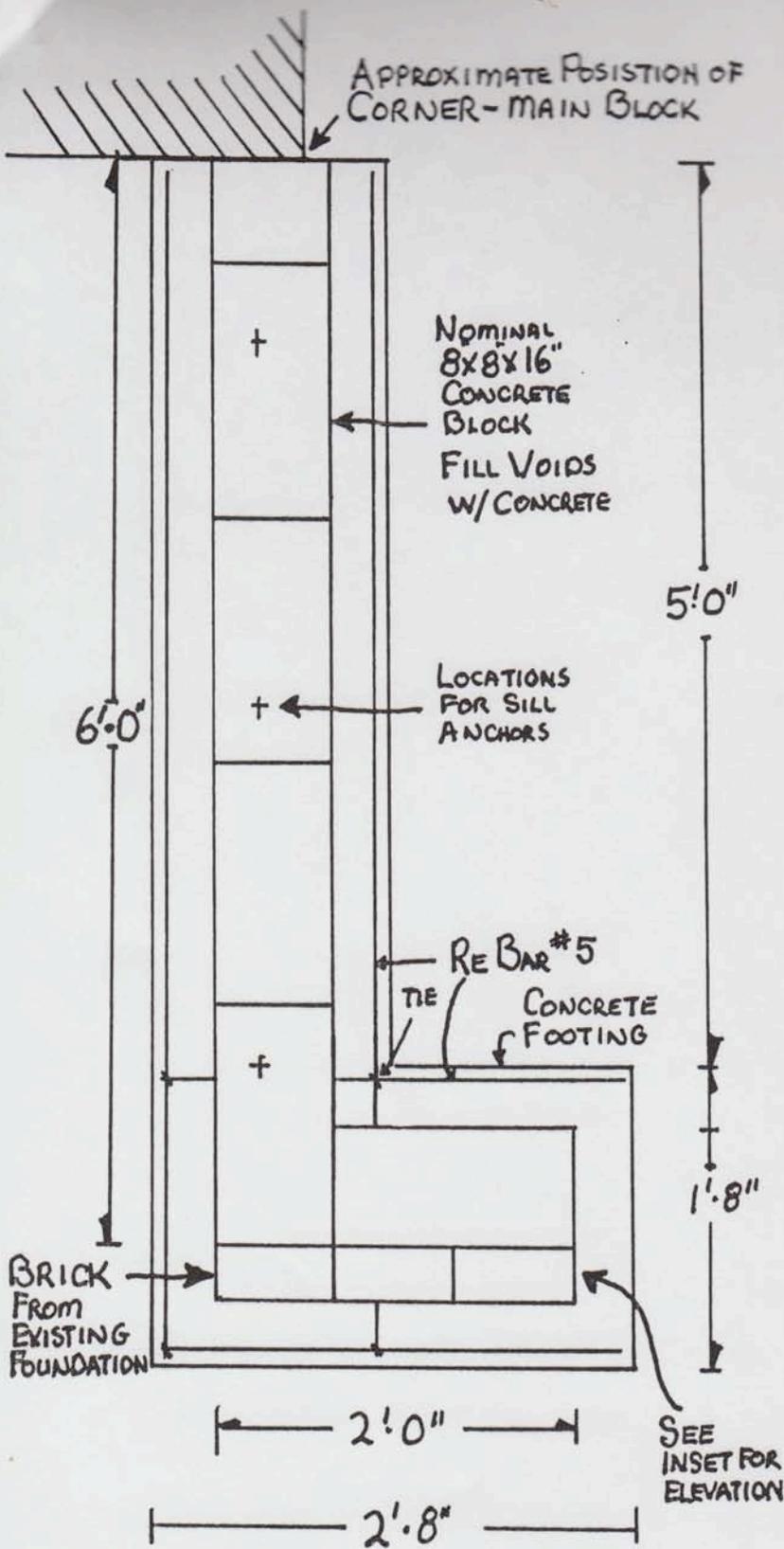
SE (GABLE END) WALL

TO
EAST
CORNER



WOODLAWN PLANTATION: MASON HOUSE 1893 ADDITION NTHP
RECONSTRUCTION DRAWING SCALE 1/2" = 1'-0" 9/4/92
MASONRY ABUTS EXISTING STONE FOUNDATION WALL
FOOTING TO CONFORM TO CURRENT FAIRFAX COUNTY CODE
SEE FOOTING & FOUNDATION PLAN & ELEVATIONS DRAWING (C.O. 9/4/92)

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NW-SE FOUNDATION WALL SECTIONAL ELEVATION

WOODLAWN PLANTATION: MASON HOUSE 9/14/92
 FOOTING & FOUNDATION PLAN & ELEVATIONS
 1893 ADDITION: S CORNER RESTORATION
 DRAWING SCALE: 1" = 1'-0" / INSET 1/2" = 1'-0"
 FOOTING DESIGN: GORDON ECHOLS, ARCHITECT 7/16/92

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CHRISTOPHER OWENS
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REPORT OF FINDS

FIELD CONDITION ASSESSMENT
MASON HOUSE, 1893 ADDITION
WOODLAWN PLANTATION NTHP
MOUNT VERNON, VIRGINIA

On Tuesday, September 1, 1992, Christopher Owens, Restoration Craftsman, and Christopher Benton, Woodlawn Plantation Superintendent of Buildings and Grounds, who is currently residing in the Mason House, conducted a field assessment of the structure and condition of the SE (Gable End) wall and SW (stub) wall of the 1893 addition.

ASSESSMENT PROCEDURE

Temporary plywood sheathing covering the lower three feet of the SE wall and a portion of the adjoining porch's flooring were removed. Two holes were dug outside the SE wall foundation. The crawl space beneath the addition was entered, with difficulty, and examined. Measurements were taken and a photographic record made of the relevant material. This data was used to produce drawings and this report. The holes were refilled, the flooring and plywood were replaced.

STRUCTURAL ASSESSMENT (REFER TO ACCOMPANYING DRAWINGS)

The addition structure is somewhat curious in that the walls and floor, deck are supported independently. The walls are balloon framed with no apparent diagonal bracing. The studs are 2" x 4", Sawn Yellow Pine, variably spaced. The corner posts are 4" x 4" Sawn Yellow Pine. Nominal 1" x 6" Novelty Drop Ship Lapped Siding Boards are applied horizontally with no sheathing. The original plaster-on-lath interior wall surface was removed in 1975-6 and replaced with 1/2" drywall panels. Fiberglass Batt insulation was also installed at that time. There is no adequate vapor barrier. There are numerous plastic sheathing (UM-B "Romer") electrical cables installed in the wall cavities. There is an outside electric receptacle box mounted on the exterior at the corner from which a plastic sheathed (UF) cable leads underground. There is no conduit or other protection for this cable. The stud work rests upon 6" x 6" Hewn Oak Sill Beams which in turn are supported by a shallow foundation of River Rock Rubble topped

by two courses of poor quality brick two wythes thick. Under the S corner there is a 9" x 9" x 21" dressed field stone, entirely below grade.

The floor deck structure is of 1" x 6" Pine Floor Boards on 2" x 6" Sawn Yellow Pine joists, transversely laid. The joists are carried by two longitudinal log girders, having flattened upper faces. The log girders, or puncheons, are supported at each end and at their mid spans by mortared brick piers. The puncheons are notched over the piers. The joist at each gable end bear directly upon the sill beams to which they are parallel. The NE joist ends appear to bear upon the NE foundation wall, which was rebuilt in 1975. There is no connection between the SW joist ends and the main block NE sill at all. The joist ends "float". The resulting GAP is covered by floor and base boarding. It was not possible to determine whether or not the SW ends of the three southern most joists ever bore upon the SW stub wall sill.

CONDITION ASSESSMENT

The structural elements in the South corner area have, for the most part, deteriorated to the point that reconstruction is the only viable option.

The SW (stub) wall sill has rotted, become disconnected from the studs bearing upon it, and pulled away from the SE sill. Whatever foundation support there might have been is missing and the sill has collapsed. The puncheon girder paralleling and immediately adjacent to the sill is in direct ground contact and has rotted for about four feet from it's end. The joist ends here have rotted as well. The SW (stub) wall is load bearing, carrying the second floor joists and roof rafter ends for a span of six feet. The wall is actively racking (corner dropping) evidenced by compressive buckling of drywall tape in the S corner.

The SE (gable end) wall sill has rotted and crumbled for about three and a half feet from the S corner and is beginning to at the E corner. The S corner post has rotted away at the bottom as has the first stud in the run eastward. The brick and rubble foundation is entirely compromised, all mortar joints have failed. The seven lower courses of siding had rotted and were removed and discarded in 1990. There is abundant evidence of insect attack and rodent infestation.

CONCLUSION

The principal causal agent of the deterioration of the S corner of the addition is the proximity of the various structural elements to the ground. This condition has, no doubt, existed for a very long time. However, the rapid gradient rise in the crawl space toward the S corner and the fact that a great deal of ground work was done during the

1975-a restoration, indicates that the grade elevation increased substantially at that time. A sump pump drain line was installed immediately adjacent to the SW wall, a DVW stack at the corner of the SW wall and the main block was rerouted, and the aforementioned electric cable was buried. Exacerbating this condition is the existence of a failed gutter leader at the corner. The reconstruction of the structure depends, for its ultimate success, upon resolving this grade elevation problem. Remove sufficient material, to maintain adequate slope for water run-off, insure the integrity of the guttering system, directing leader outflow well away from foundation.

Outside the scope of the present structural work is the condition of the exterior wall insulation. Through out the Mason House there is at present no adequate interior vapor barrier. The lack of a vapor barrier, combined with the water vapor trapping characteristic of fiberglass batts, is creating a considerable condensation problem in the exterior wall cavities. The most immediately noticeable effect of this condition is the degradation of the exterior paint work. Condensation, if uncorrected, will also cause rot in the lower parts of the wall structure.

A strategy of thoroughly sealing all interior gaps and cracks against air infiltration and carefully applying a vapor barrier paint system to the inside of all exterior walls is recommended as a simple, inexpensive solution. This work will not completely solve the problem, but it will help greatly. A good system is Pratt & Lambert # Z3001 Latex Interior Vinyl Primer followed by two coats of P & L "Accolade".

